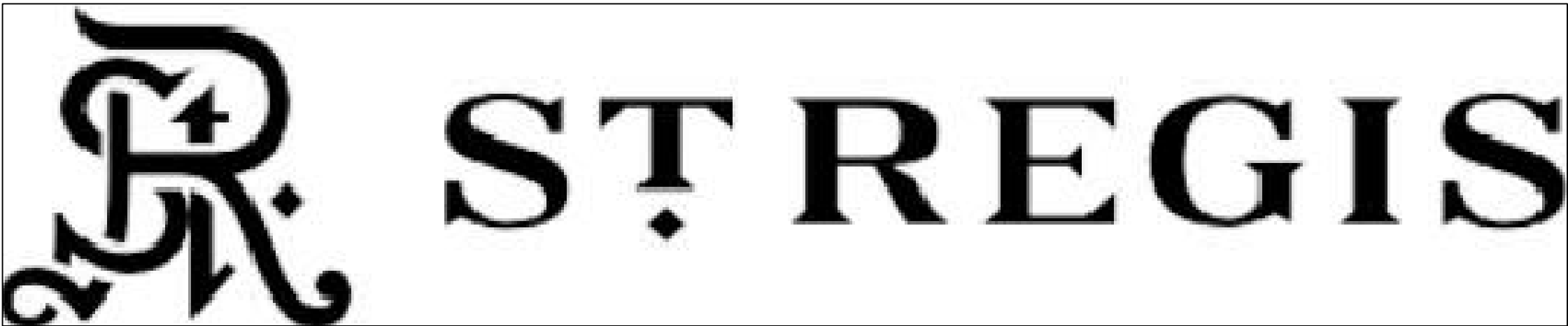


# St. REGIS ATLANTA

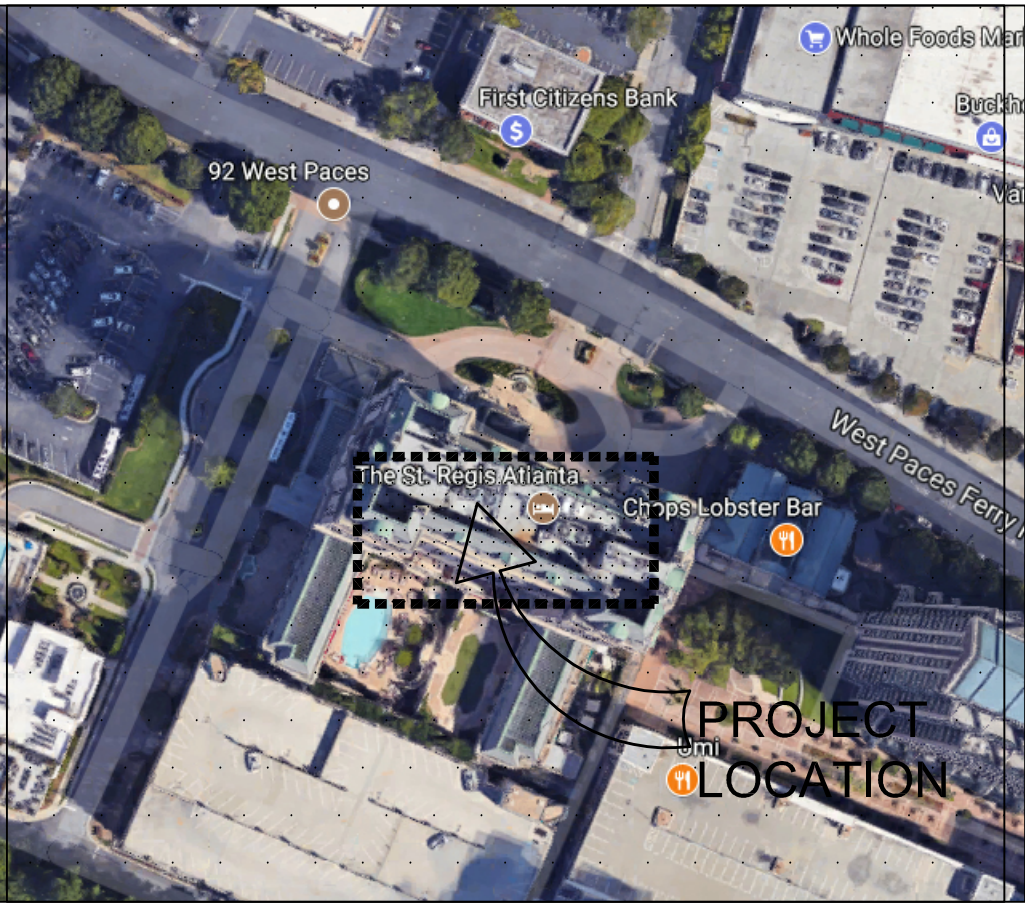
## GUEST ROOM RENOVATIONS

88 WEST PACES FERRY ROAD  
ATLANTA, GA 30305



# INTERIOR DRAWINGS 06/06/2018

### LOCATION MAP



### ABBREVIATIONS

ACOUSTIC ACOUSTICAL CEILING TILE AIR CONDITIONING ALUMINUM ANCHOR BOLT ANGLE APPROVED ASPHALT AUTOMATIC AVERAGE BASEMENT BATHROOM BENCH MARK BETWEEN BEVELED BLOCK BRACKET BRICK BUILDING CABINET CAULKING CEILING CEMENT CEMENT PLASTER CENTER CENTER LINE CERAMIC CERAMIC TILE CHALK BOARD CHANNEL CLEAN OUT CLEAR CLOSET COLD WATER COLUMN CONCRETE CONCRETE BLOCK CONCRETE MASONRY UNIT CONSTRUCTION CONTINUE (OUS) COUNTER FLASHING COUNTERSINK COURSES DEMOLISH DEPARTMENT DETAIL DIAMETER DIMENSION DISHWASHER DIVISION DOOR DOUBLE HUNG WINDOW DOWN DOWN SPOUT DRAIN DRAWING DRINKING FOUNTAIN EACH EAST ELECTRIC(AL) ELEVATION ELEVATOR ELECTRICAL PANEL ELECTRIC WATER COOLER ENCLOSE (URE) ENTRANCE	-ACOUS -ACT -AC -AL -AB -Z -APPD -ASPH -AUTO -AVG -BSMT -BR -BM -BW -BEVLD -BLK -BRKT -BRK -BLDG -CAB -CLK -CLG -CMNT -CMNT PLAS -CTR -C OR CL -CER -CT -CHBD -CHAN -CO -CLR -CLO -CW -COL -CONC -CB -CMU -CONST -CONT -CFLG -CSK -COUR -DEMO -DEPT -DET -DIA -DIM -DW -DIV -DR -DHW -D -DS -DRN -DWG -DF -EA -E -ELEC -EL OR ELEV -ELEVTR -EP -EWC -ENCL -ENT	EQUAL EQUIPMENT EXCAVATE EXISTING EXPANSION BOLT EXP JLT EXP OR EXP JT EXTR FACE BRICK FINISH FIRE ALARM FIRE EXTINGUISHER FLASHING FLOOR FLUORESCENT FOOTING FOUNDATION GALVANIZED GLASS GYPSUM HARDWARE HEIGHT HOLLOW METAL HORIZ INSULATION INTERIOR INTERMEDIATE J CL KILN-DRIED LAVATORY LENGTH LEVEL MANUFACTURE MASONRY OPEN MATERIAL MAXIMUM METAL MINIMUM MISCELLANEOUS NOMINAL NOT IN CONTRACT NUMBER OCCUPANTS ON CENTER OPENING OUTSIDE DIAMETER PAINTED PERPENDICULAR PLASTER PLUMBING QUANTITY RADIUS REINFORCE RISER ROOFING ROOM SCHEDULE SECTION SLOP SINK SERVICE SINK SQUARE STAINLESS STEEL STANDARD STEEL STG STORAGE SUSPEND(ED) THICK OR THICKNESS TONGUE & GROOVE TYPICAL UNDERWRITERS LAB WELDED WIRE FABRIC WELDED WIRE MESH	-EQ -EQUIP -EXC-EXSTG -EX-EXIST -EXP BLT -EJ OR EXP JT -EXTR -FB -FIN -FA -FE OR F EXT -FLASHG -FLR -FLUOR -FTG -FDM OR FND -GALV -GL -GYP -HDW -H, HT OR HGT -HM -HORIZ. -INS -INT -INTER -J CL -KD -LAV -LGTH -LEV -MFR -MO -MATL -MAX OR max -MTL. OR MET. -MIN OR min -MISC -NOM -NIC -No. -OCC -OC -OPNG -OD -PTD -PERP -PLAS -PLUMB -QTY -R -REINF -R -RFG -RM SCH -SECT OR SEC -SS -SS -SO -SST OR SS -STD -STL -STG -SUSP -THK -T & G -TYP -UL -W.W.F. -W.W.M.
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### DRAWING ANNOTATION SYMBOLS

DETAIL TITLE DETAIL No.	TITLE SCALE 1	DRAWING TITLE
ELEVATION No. SHEET No.	1 A-000	ELEVATION TAGS
SHEET No.	4 A-000	
ELEVATION No.	3	
DETAIL No. SHEET No.	1 A-000	SECTION CUT INDICATOR
DETAIL No. SHEET No.	1 A-000	DETAIL INDICATOR
TITLE ROOM No.	ROOM NAME 100	ROOM DESIGNATION
	100.1	DOOR TAG
	1	PARTITION TYPE TAG
	1	ACCESSORY TAG
	FF&E	FF&E TAG
	XX-01	FINISH TAG
		FLOOR MATERIAL TRANSITION
	1	REVISION DELTA
	1	KEYED NOTE
		WORK POINT
		CENTERLINE
	0'-0" AFF CEILING	HEIGHT DATUM
	8'-2 3/4"	DIMENSION
		DIRECTION ARROW

### GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- CHANGES TO THE PLANS BY THE OWNER AND/OR THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES, AND NOT THAT OF THE DESIGNER.
- THE DESIGNER WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE DRAWINGS.
- CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. WHERE CODES CONFLICT WITH THESE DRAWINGS, THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- THE INTENTION OF THE DOCUMENTS IS TO DESCRIBE, IN GENERALITY, SYSTEMS AND FINISHES. THE CONTRACTOR SHALL PROVIDE AND INSTALL COMPLETE SYSTEMS IN ACCORDANCE WITH APPLICABLE CODES, MANUFACTURERS AND ASSOCIATIONS REQUIREMENTS AND RECOMMENDATIONS, OR ACCEPTABLE BUILDING PRACTICE, WHICHEVER IS MORE STRINGENT.
- ALL WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
- THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. AS THE WORK PROGRESSES THE OWNER AND THE CONTRACTOR, AT NO EXTRA COST, SHALL MAKE MODIFICATIONS TO MAKE PARTS ALIGN AND FUNCTION PROPERLY.
- RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION. INSPECT BOTH THE SUBSTRATE AND THE CONDITIONS FOR EACH MAJOR COMPONENT. DO NOT PROCEED UNTIL ANY UNSATISFACTORY CONDITION(S) HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
- COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN CONTRACT DOCUMENTS.
- PROVIDE ATTACHMENTS AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK. SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT.
- PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICES TO DESIGNER FOR FINAL DECISION.
- ANY OMISSIONS FROM THE DOCUMENTS WHICH WOULD CUSTOMARILY BE PART OF THE SYSTEM OR FINISHES SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE FROM THE SITE EXCESS EXCAVATED MATERIALS, TRASH, DEBRIS, AND WASTE MATERIALS. DISPOSAL SHALL BE IN A MANNER APPROVED BY STATE AND LOCAL AUTHORITIES.
- ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, SURROUNDING PRIVATE /PUBLIC PROPERTIES, AND PUBLIC RIGHT OF WAY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CLEAN AND SAFE WORK AREA AND IS RESPONSIBLE FOR SAFETY AT THE SITE.
- CONTRACTOR SHALL PROVIDE ANY REQUIRED PROTECTION OF WORK. NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO NULLIFY ANY RULES, REGULATIONS OR STATUTES OF STATE OR FEDERAL AGENCIES GOVERNING THE PROTECTION OF THE PUBLIC OR WORKERS FROM HEALTH OR OTHER HAZARDS INVOLVED IN THE OPERATIONS REQUIRED TO PERFORM THIS WORK.
- CONSTRUCT AND INSTALL TEMPORARY PROTECTION MEASURES PRIOR TO START OF CONSTRUCTION. TEMPORARY PROTECTION SHALL BE REMOVED WHEN WORK IS COMPLETE. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, BUILDING OR STRUCTURE FROM DAMAGE OR INJURY.
- ALL CONSTRUCTION EQUIPMENT AND SAFEGUARDS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN A SUBSTANTIAL MANNER AND SHALL BE SO OPERATED AS TO INSURE PROTECTION TO THE WORKERS ENGAGED THEREON AND TO THE GENERAL PUBLIC. ALL EXISTING AND ADJOINING IMPROVEMENTS SHALL BE PROTECTED FROM DAMAGE INCIDENTAL TO CONSTRUCTION OPERATIONS.
- PROTECT EXISTING ROADWAYS, WALKWAYS AND ADJOINING MALL SPACES. ENCLOSE STAGING EQUIPMENT AND STORAGE AREAS WITH BARRICADES TO PREVENT ENTRY OF UNAUTHORIZED PERSONS. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE. EXISTING BUILDINGS OR STRUCTURES FROM DAMAGE OR INJURY.
- MATERIALS AND EQUIPMENT REQUIRED IN CONSTRUCTION OPERATIONS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER OR OBSTRUCT THE PUBLIC, THE WORKERS OR THE ADJOINING SPACES.
- ALL ABANDONED PIPING, CONDUITS, AND DEBRIS SHALL BE REMOVED OR CAPPED.
- FIRE SAFE (IN COMPLIANCE WITH AUTHORITY APPROVED UL LISTINGS) AND SEAL ALL PENETRATIONS WATERTIGHT, PRIOR TO CLOSE-IN.
- THROUGH-PENETRATIONS OF RATED FIRE RESISTANT ASSEMBLIES/BARRIERS SHALL BE IN COMPLIANCE WITH NFPA 101 (AND 90A), F.M. APPROVED, AND UL LISTED. FIRE SAFE ANNULAR SPACE BETWEEN NON-COMBUSTIBLE PENETRATION ITEM AND NON-COMBUSTIBLE SLEEVE WITH F.M. APPROVED AND UL LISTED FIRE RATED MATERIAL WITH A RATING EQUAL TO THE BARRIER PENETRATED. THROUGH-PENETRATIONS AND FIRE SAFING OF FIRE RATED FLOORS AND WALLS SHALL BE IN COMPLIANCE WITH THE UL FIRE RESISTANCE DIRECTORY (LATEST ADOPTED EDITION) AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

### GENERAL NOTES CONTINUED

- "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DRAWINGS ARE USUALLY NOTED "TYP" ONLY WHEN THEY FIRST OCCUR.
- "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE DRAWINGS.
- ALL WORK REQUIRED FOR COMPLETION OF THE SCOPE OF WORK, DRAWN AND/OR NOT DRAWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND SHALL BE MANUFACTURED AND INSTALLED TO INDUSTRY AND TRADE STANDARDS. ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE AND FEDERAL AUTHORITIES, UTILITY COMPANIES, INSURANCE AGENCIES AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH CURRNT ENVIRONMENTAL REGULATIONS.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY CONSTRUCTION. PROTECT SURROUNDING OCCUPIED AREAS FROM CONSTRUCTION DIRT AND DUST. ALL WORK AREAS TO BE THOROUGHLY CLEANED AFTER THE COMPLETION OF ENTIRE PROJECT CONSTRUCTION ACTIVITIES.
- DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS SO THAT CONSTRUCTION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.

### OWNER'S REPRESENTATIVE

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### DRAWING LIST

### INTERIOR DRAWINGS

INTERIOR DRAWINGS		2018-06-06 PERMIT SET/RELEASED FOR CONST.			
G000	INTRO SHEET	●			
G001 - 009	SPECIFICATIONS	●			
G010	ADA GUIDELINES	●			
D100 - 104	DEMOLITION PLAN - TYPICAL ROOMS	●			
D200 - 204	CEILING DEMOLITION PLAN - TYPICAL ROOMS	●			
I100 - 104	FLOOR PLAN - TYPICAL ROOMS	●			
I200 - 204	REFLECTED CEILING PLAN - TYPICAL ROOMS	●			
I300 - 304	FINISH PLAN - TYPICAL ROOMS	●			
I400 - 404	POWER & DATA PLAN - TYPICAL ROOMS	●			
I500 - 504	OVERALL FURNITURE PLANS	●			
I500 A	FURNITURE PLAN - TYPICAL KING	●			
I501 A	FURNITURE PLAN - TYPICAL SUITE	●			
I502 A	FURNITURE PLAN - TYPICAL DBL QUEEN	●			
I503 A	FURNITURE PLAN - JUNIOR SUITE	●			
I504 A	FURNITURE PLAN - JUNIOR SUITE	●			
I600 - 606	INTERIOR ELEVATIONS / SECTIONS, TYPICAL ROOMS	●			
I-800	FF&E SUITE BAR - FF&E ITEM INSTALLED BY OWNER	●			
I-903	FINISH SCHEDULE	●			

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### ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

### REVISIONS

06/06/18 PERMIT SET/RELEASED FOR CONST.

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### DRAWING TITLE

INTRO SHEET  
GUEST ROOM RENOVATIONS

-  
-

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER G-000



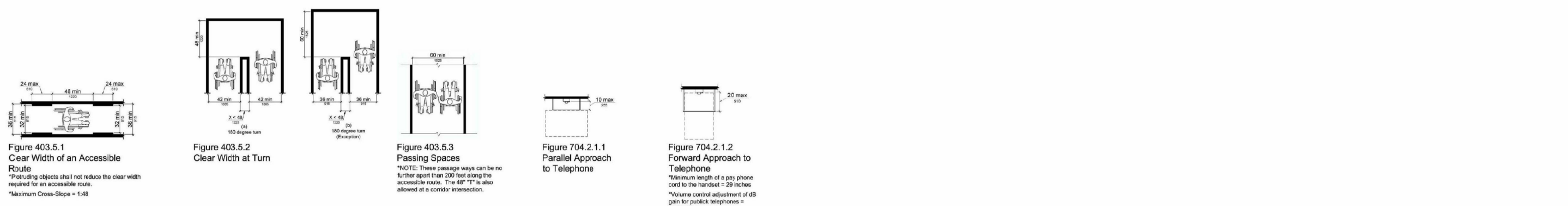
888 WEST PACES FERRY ROAD ATLANTA, GEORGIA

[illegible]

**DRAWING TITLE**  
ADA GUIDELINES AND  
ROOM MATRIX  
GUEST ROOM RENOVATION

DATE 04/16/2018

SHEET NUMBER **G-010**

[illegible]

**Figure 606.2.1**  
Transfer Type Shower  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.2.2**  
Standard Roll-In Type Shower  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.2.3**  
Alternate Roll-In Type Shower  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.3.1**  
Grab Bars for Transfer Type Showers  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.3.2**  
Grab Bars for Standard Roll-In Type Showers  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.3.3**  
Grab Bars for Alternate Roll-In Type Showers  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.5.1**  
Transfer Type Shower Compartment Control Location  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.5.2**  
Standard Roll-In Type Shower Compartment Control Location  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.5.3**  
Alternate Roll-In Type Shower Compartment Control Location  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.9.2**  
Grab Bar Non-Circular Cross Section  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 606.9.3**  
Spacing of Grab Bars  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 610.2**  
Bathroom Seats  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 610.3**  
Exent of Seat  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 610.3.1**  
Rectangular Shower Seat  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 610.3.2**  
L-Shaped Shower Seat  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

**Figure 611.4**  
Height of Laundry Compartment Opening  
Minimum structural capacity for accessible shower stall assemblies = 100 lbs

Figure 602.5  
Drinking Fountain Spout Location

602.5 Water spout shall provide a flow of water 4 inches (100 mm) (2) mm high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured orthonally relative to the front face of the unit. Where spouts are located as than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum measured orthonally relative to the front face of the drinking fountain.

602.7 Drinking Fountains for Blending Persons. Spout outlets of drinking fountains for standing persons shall be 38 inches (965 mm) minimum and 43 inches (1093 mm) maximum above the finish floor or ground.

Figure 604.8.1.2  
Wheelchair Accessible Toilet Compartment Doors

Figure 604.8.1.4  
Wheelchair Accessible Toilet Compartment Toe

Figure 604.8.2  
Ambulatory Accessible Toilet Compartment

Figure 604.8.1.4  
Ambulatory Accessible Toilet Compartment

Figure 604.10.4  
Children's Water Closet Height

Figure 604.10.7  
Children's Dispenser

Figure 605.2  
Height and Depth of Urinals

Figure 606.2  
Height of Lavatories and Sinks used for Children

Figure 606.3  
Height of Lavatories and Sinks

Figure 606.7  
Maximum Reach Depth and Height

## TOILETS





1. PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
3. DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.
4. COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
5. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
6. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
7. INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
9. DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
10. NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, SHALL NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
11. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.
12. ALL FIRE SAFETY EQUIPMENT AND THE ASSOCIATED CONDUIT AND WIRING SYSTEM SHALL NOT BE HARMED DURING DEMOLITION AND/OR ANY CONSTRUCTION AND SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE.
13. AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
14. ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURNED TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
15. ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
16. ALL EXISTING SWITCHES, POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND/OR REFURBISH FINISH PLATES IF/AS REQUIRED.
17. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTATS U.N.O.
18. ALL EXISTING WINDOWS AND SILLS TO REMAIN U.N.O. REPAIR AND REFURBISH IF/AS REQUIRED.
19. ALL PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES TO REMAIN U.N.O. CLEAN, REPAIR AND/OR REFURBISH IF/AS REQUIRED.
20. ALL EXISTING FASCIA/SOFFIT/COVE TO REMAIN.
21. ALL EXISTING CEILING, MOLDING, SPRINKLERS, DIFFUSERS, DUCTWORK AND CEILING DEVICES TO REMAIN U.N.O.
22. EXISTING ROOM SIGNS AND ASSOCIATED SIGNAGE TO REMAIN U.N.O.
23. ALL EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE.
21. REMOVE EXISTING ARTWORK INCLUDING MOUNTING HARDWARE PATCH AND REPAIR WALL AS REQUIRED.

- 01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP. -
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND TOILET TO REMAIN.
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 04 EXISTING ROOM SAFE TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 05 EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- 06 EXISTING UNDER COUNTER REFRIGERATOR TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 07 REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+E PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- 08 EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 09 CAREFULLY REMOVE EXISTING DECORATIVE MIRROR. SALVAGE MIRROR, WALL BLOCKING AND MOUNTING HARDWARE FOR RE-USE. EXISTING GYP. BOARD AREA TO BE PREPPED FOR NEW WALLCOVERING.
- 10 EXISTING CARPET AND PAD TO BE REMOVED  
-
- 11 EXISTING FLOOR FINISH TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING MILLWORK ITEMS TO REMAIN.  
-
- 13 EXISTING OUTLET OR SWITCH TO REMAIN.  
-
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR TO REMAIN.  
-
- 15 EXISTING THERMOSTAT TO BE REMOVED. LOW VOLTAGE CONTROL CIRCUIT TO REMAIN FOR NEW THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN  
-
- 17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18 PORTION OF EXISTING LOWER FRONT METAL BAR TO BE CLEANLY CUT AND REMOVED TO INCREASE KNEE SPACE AT MAKE UP VANITY.
- 19 +/- 2" LOWER PORTION OF EXISTING LEGS TO BE CLEANLY CUT AND REMOVED TO LOWER MAKE-UP VANITY TO 28" TO BETTER COORDINATE WITH HEIGHT OF STOOL.
- 20 EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS TO BE REMOVED
- 21 EXISTING BEVELED MIRROR PANELS AND WOOD MUNTINS TO BE REMOVED FROM BOTH SIDES OF DOOR. SALVAGE PULLS
- 22 EXISTING ARTWORK TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE SCOPE WITH OWNER'S REPRESENTATIVE
- 23 EXISTING WALL MOUNTED PHONE TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 24 PORTION OF EXISTING BASE TO BE CLEANLY REMOVED. EXISTING REMAINING PORTION TO INTERFACE WITH NEW MILLWORK CONSTRUCTION SHOWN
- 25 EXISTING DOOR, HARDWARE AND DOOR SWITCH TO BE CAREFULLY REMOVED AND SALVAGED FOR "FLIPPED" RE-INSTALLATION AS SHOWN

ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS

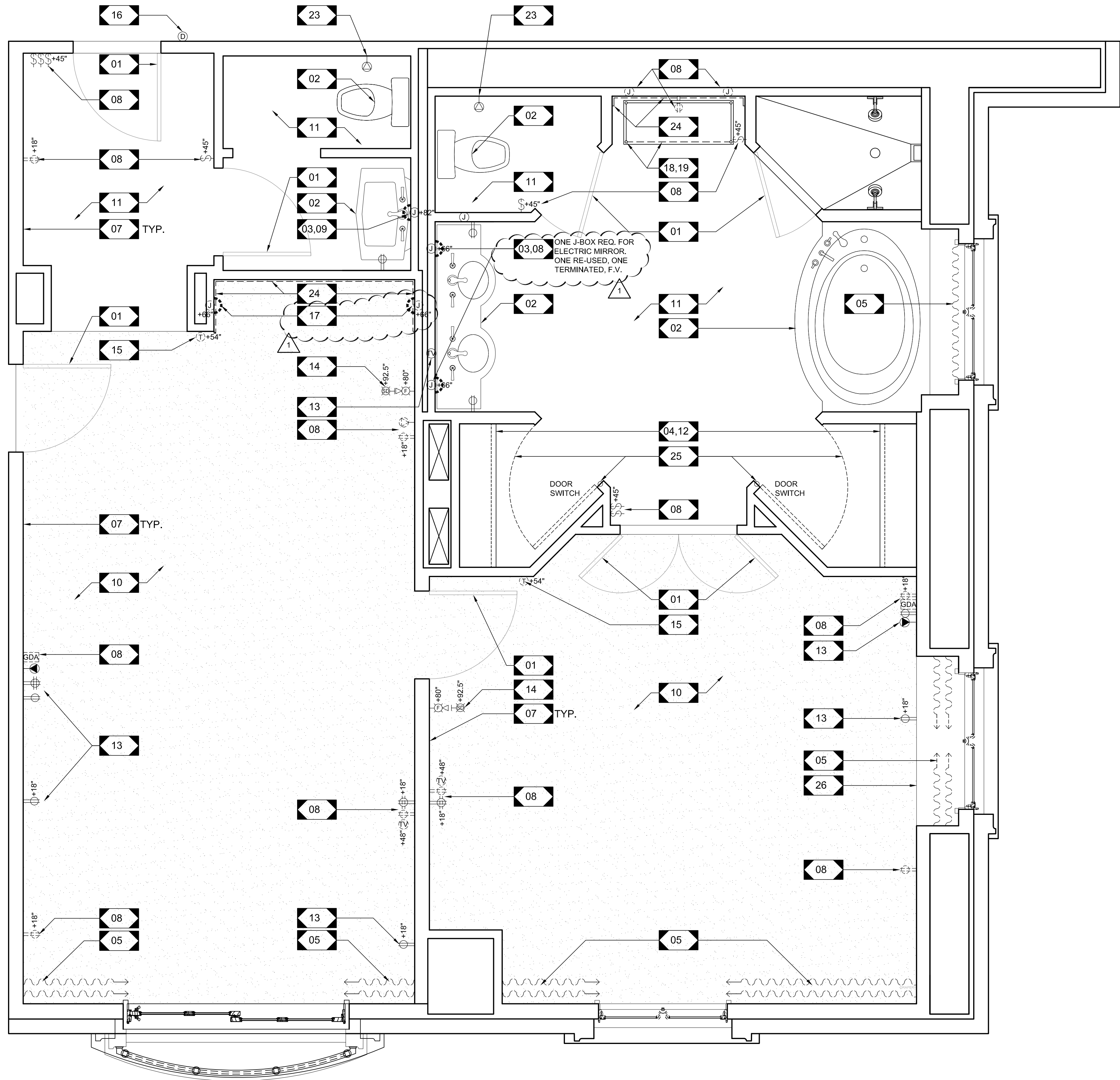
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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

SHEET NUMBER **D 100**

# D-100





DEMOLITION KEYNOTES

- 01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND TOILET TO REMAIN.
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 04 EXISTING ROOM SAFE TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 05 EXISTING SHADE OR DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- 06 EXISTING UNDER COUNTER REFRIGERATOR TO BE REMOVED . SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 07 REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+E PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- 08 EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED. RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 09 CAREFULLY REMOVE EXISTING DECORATIVE MIRROR. SALVAGE MIRROR, WALL BLOCKING AND MOUNTING HARDWARE FOR RE-USE. EXISTING GYP. BOARD AREA TO BE PREPPED FOR NEW WALLCOVERING.
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- 18 PORTION OF EXISTING LOWER FRONT METAL BAR TO BE CLEANLY CUT AND REMOVED TO INCREASE KNEE SPACE AT MAKE UP VANITY.
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- 26 EXISTING WINDOW TRIM AND PORTION OF EXISTING BASE TO BE CLEANLY REMOVED. REMOVE PORTION OF EXISTING GYP. BOARD AS REQUIRED TO INTERFACE WITH NEW INFILLED WALL CONSTRUCTION SHOWN

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1
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DRAWING TITLE

DEMOLITION PLAN  
GUEST ROOM RENOVATIONS  
TYPICAL SUITE

PROJECT NUMBER

1714.00

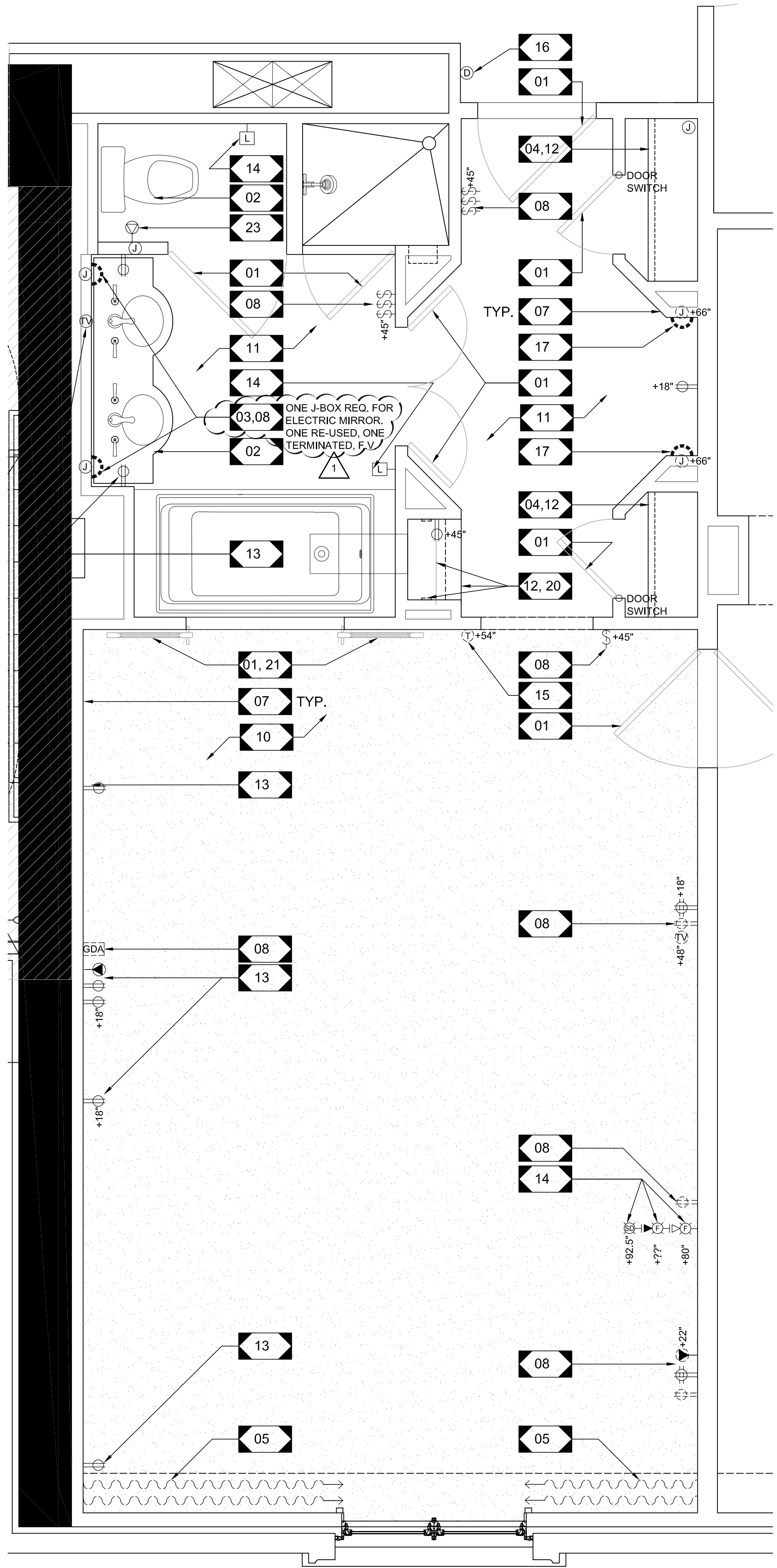
DATE

04/16/2018

SHEET NUMBER

D-101





DEMOLITION KEYNOTES

- 01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND TOILET TO REMAIN.
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- 19 +/- 2 1/2\"/>

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS

88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

DATE	DESCRIPTION
06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1
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DRAWING TITLE

DEMOLITION PLAN

GUEST ROOM RENOVATIONS

TYPICAL QUEEN

PROJECT NUMBER

1714.00

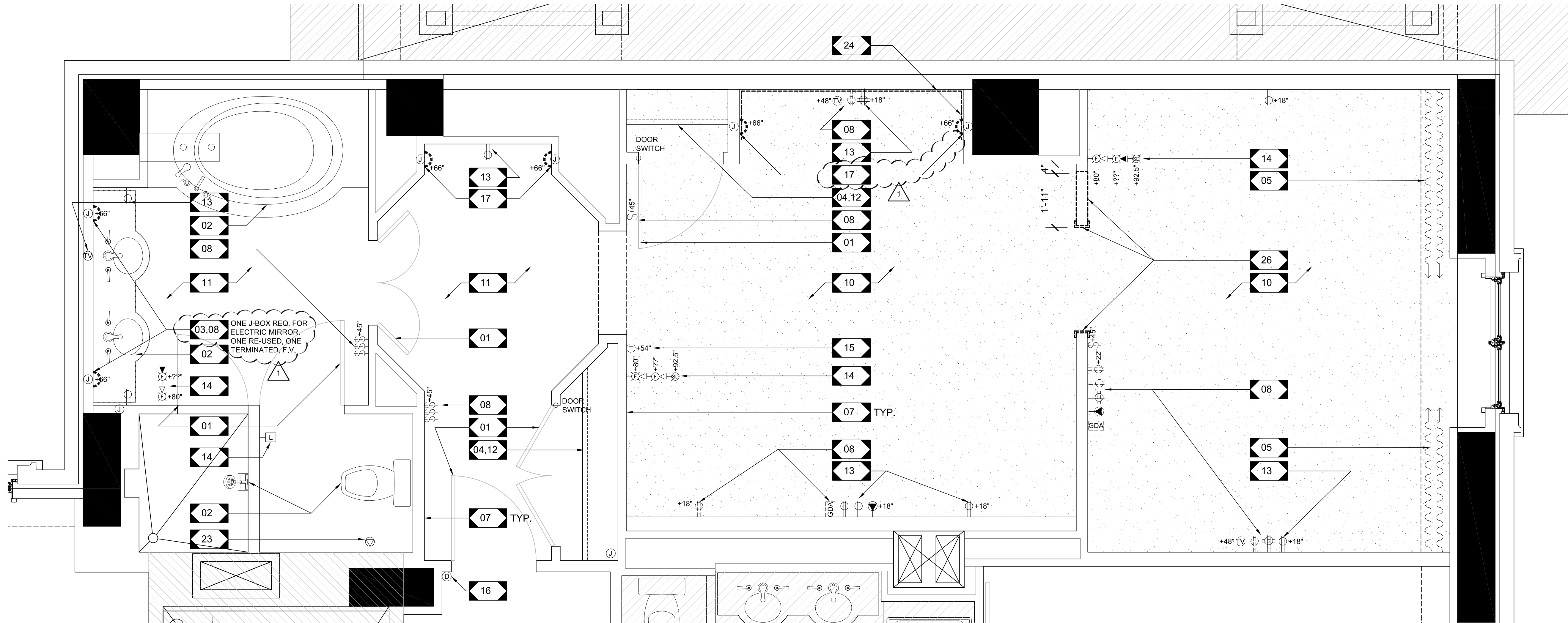
DATE

04/16/2018

SHEET NUMBER

D-102





DEMO PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0"

1

DEMOLITION KEYNOTES

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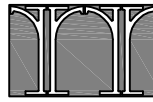
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- 26 EXISTING CASING TRIM AND PORTION OF EXISTING WALL TO BE REMOVED AS REQUIRED TO ACCOMMODATE NEW DOOR/DOOR LOCATION

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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07/25/18	ADDENDUM #1
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DRAWING TITLE

DEMOLITION PLAN  
GUEST ROOM RENOVATIONS  
JUNIOR SUITE

PROJECT NUMBER

1714.00

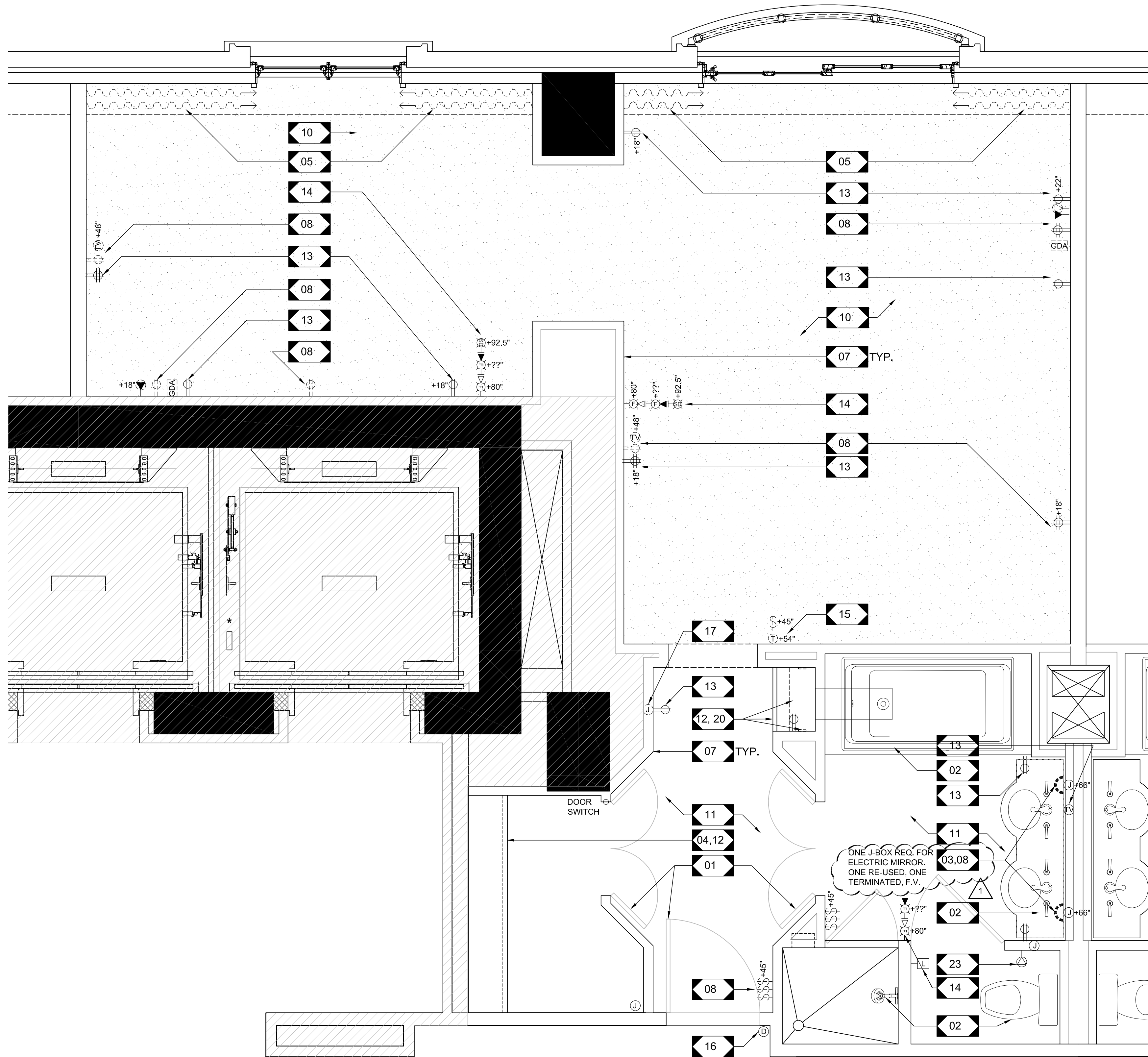
DATE

04/16/2018

SHEET NUMBER

D-103





DEMO PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0"

1

DEMOLITION KEYNOTES

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE

DEMOLITION PLAN  
GUEST ROOM RENOVATIONS  
JUNIOR SUITE

PROJECT NUMBER 1714.00

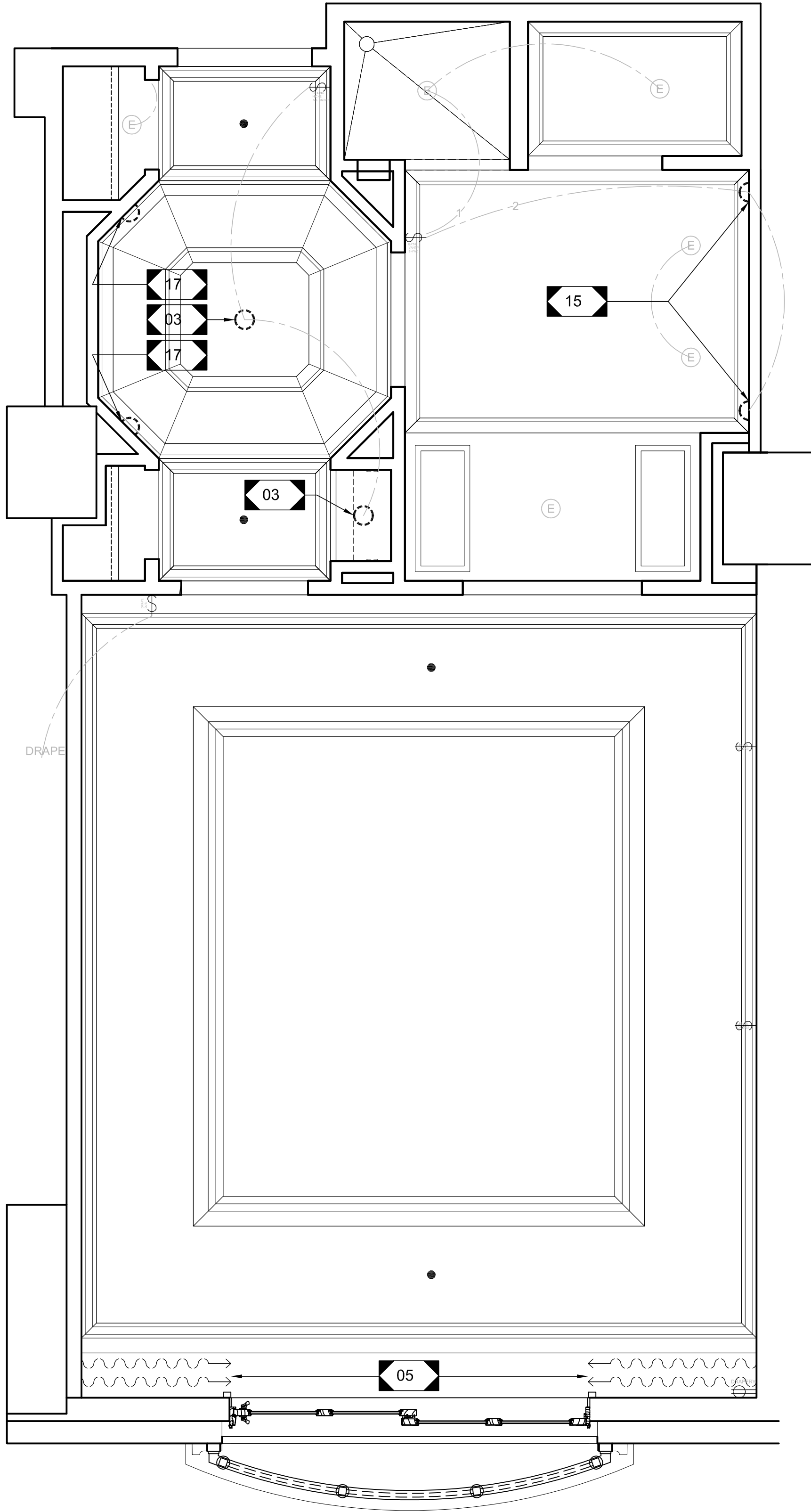
DATE 04/16/2018

SHEET NUMBER **D-104**



LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LIGHT FIXTURE TO BE REMOVED
- SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
- SWITCH AND/OR CIRCUIT TO BE REMOVED
- J-BOX
- SPRINKLER TO REMAIN



CEILING DEMO PLAN - TYPICAL KING  
SCALE: 1/2" = 1'-0"

1

DEMOLITION SHEET NOTES

1. PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
3. DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.
4. COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
5. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
6. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
7. INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
9. DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
10. NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, SHALL NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
11. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.
12. ALL FIRE SAFETY EQUIPMENT AND THE ASSOCIATED CONDUIT AND WIRING SYSTEM SHALL NOT BE HARMED DURING DEMOLITION AND/OR ANY CONSTRUCTION AND SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE.
13. AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
14. ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURN TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
15. ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
16. ALL EXISTING POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND REFURBISH FINISH PLATES IF/AS REQUIRED.
17. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES.
18. ALL EXISTING WINDOWS AND SILLS TO REMAIN U.N.O. REPAIR AND REFURBISH IF/AS REQUIRED.
19. ALL PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES TO REMAIN U.N.O. CLEAN, REPAIR AND/OR REFURBISH IF/AS REQUIRED.
20. ALL EXISTING FASCIA/SOFFIT/COVE TO REMAIN.
21. ALL EXISTING CEILING, MOLDING, SPRINKLERS, DIFFUSERS, DUCTWORK AND CEILING DEVICES TO REMAIN U.N.O.
22. EXISTING ROOM SIGNS AND ASSOCIATED SIGNAGE TO REMAIN U.N.O.
23. ALL EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE
24. **GENERAL LIGHTING NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH EXISTING "LUMASTREAM" LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM

DEMOLITION KEYNOTES

- 01

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- 02

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- 03

EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04

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- 05

EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06

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- 07

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- 11

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- 13

EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL'4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL'4/MODEGREEN'.
- 14

EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL'4. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15

EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16

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- 17

EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18

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- 21

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- 22

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DRAWING TITLE

CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING







PROJECT NUMBER 1714.00

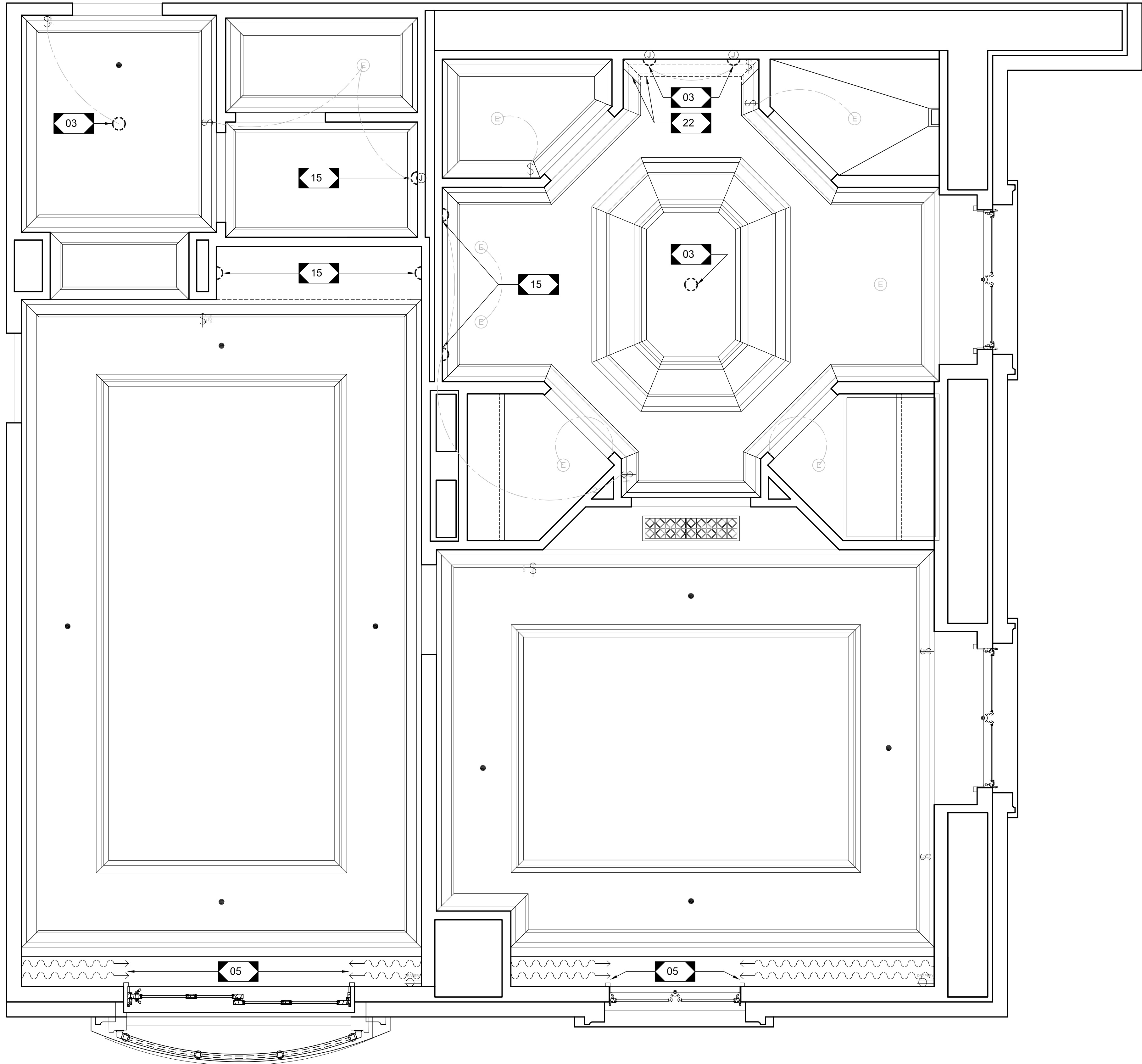
DATE 04/16/2018

SHEET NUMBER **D-200**



LIGHT FIXTURE LEGEND

-  EXISTING LIGHT FIXTURES TO REMAIN
-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
-  SWITCH AND/OR CIRCUIT TO BE REMOVED
-  J-BOX
-  SPRINKLER TO REMAIN



DEMOLITION KEYNOTES

- 01 -
- 02 -
- 03 - EXISTING LIGHT FIXTURE TO BE REMOVED, IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04 -
- 05 - EXISTING DRAPERY FABRIC TO BE REMOVED, EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06 -
- 07 -
- 08 -
- 09 -
- 10 -
- 11 -
- 12 -
- 13 - EXISTING LIGHT FIXTURE TO BE REMOVED, IF FEASIBLE, EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4/MODEGREEN'.
- 14 - EXISTING DOWNLIGHT TO BE REMOVED, TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15 - EXISTING WALL SCONCES TO BE REMOVED, IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16 -
- 17 - EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18 -
- 19 -
- 20 -
- 21 -
- 22 - PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION

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DRAWING TITLE

CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-201**



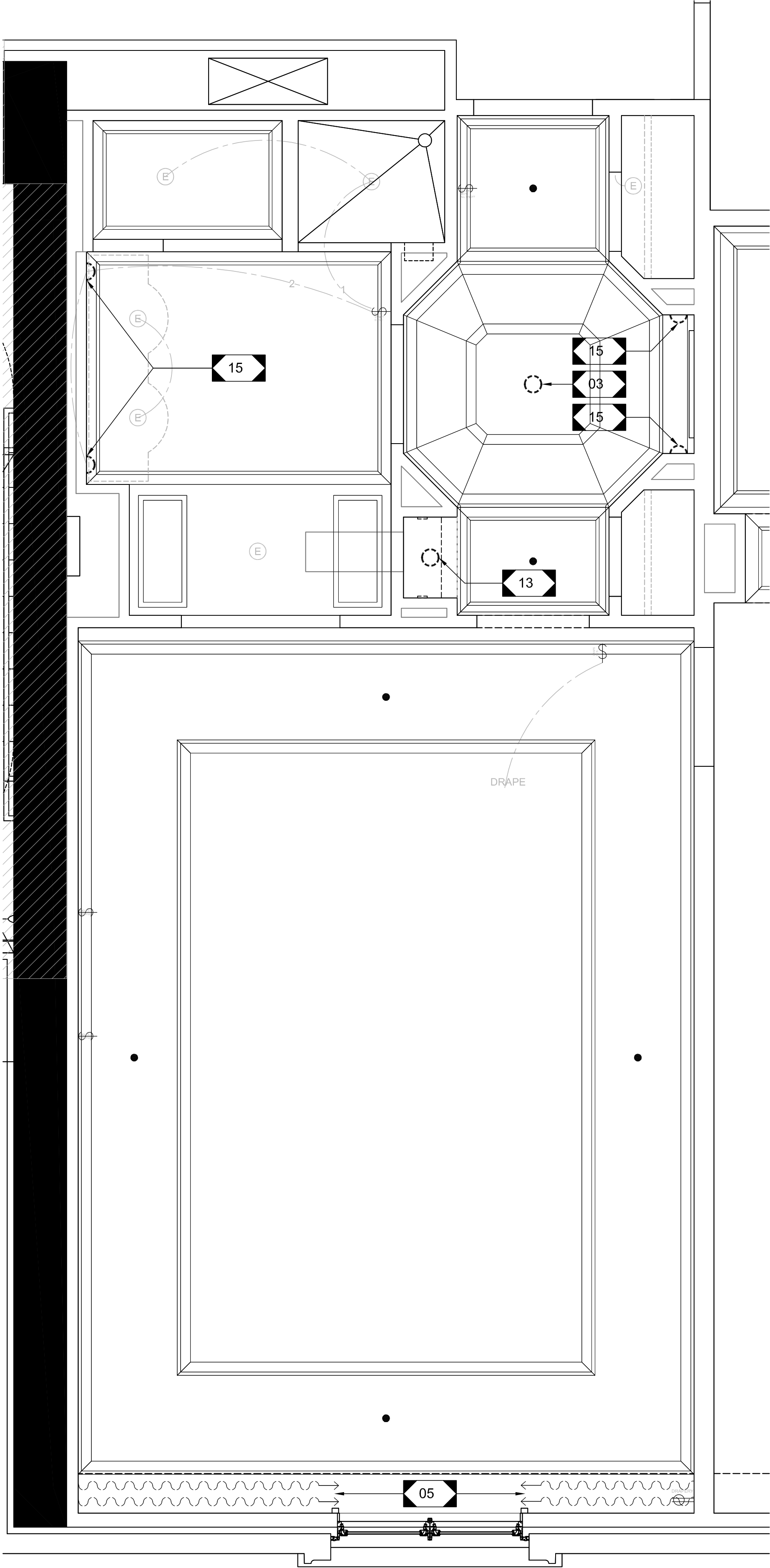
LIGHT FIXTURE LEGEND

- E

EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LIGHT FIXTURE TO BE REMOVED
- \$

SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
- \$

SWITCH AND/OR CIRCUIT TO BE REMOVED
- J-BOX
- SPRINKLER TO REMAIN



CEILING DEMO PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0"

DEMOLITION KEYNOTES

- 01

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- 02

-
- 03

EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04

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- 05

EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06

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- 14

EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15

EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16

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- 17

EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
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DRAWING TITLE

CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

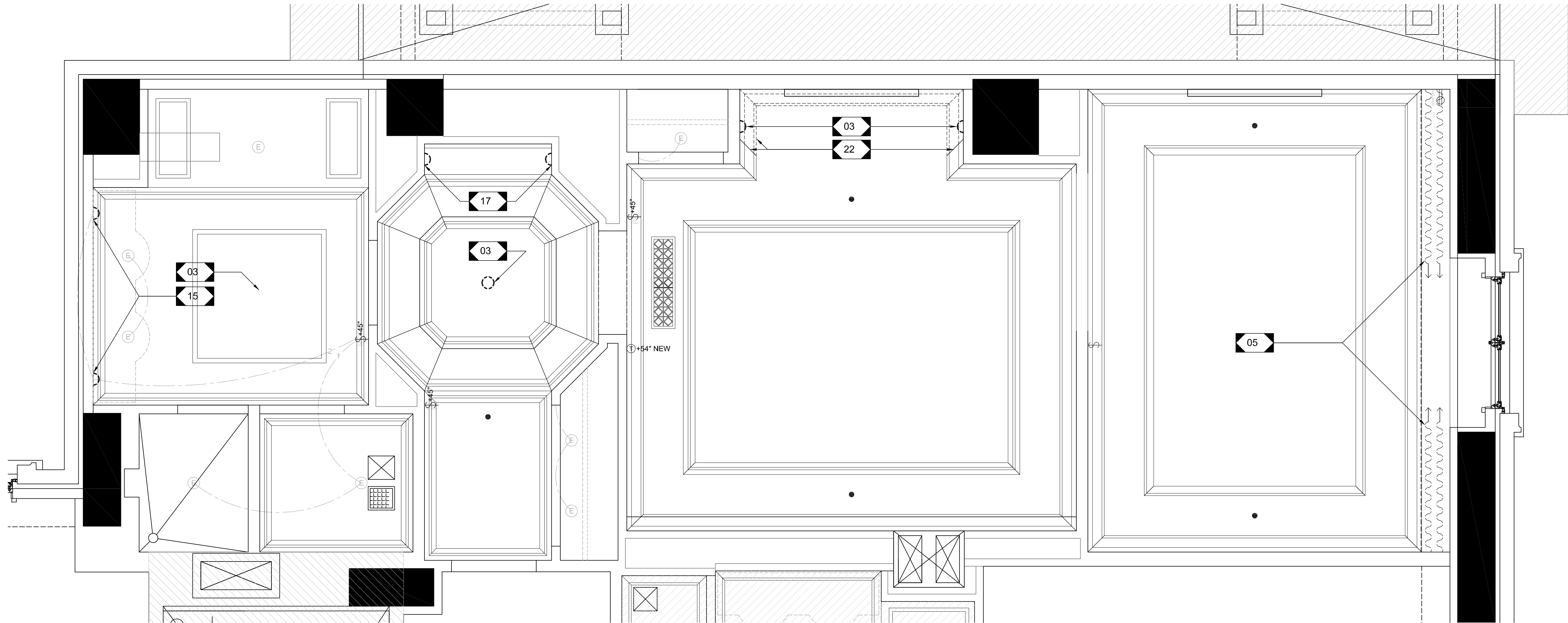
DATE 04/16/2018

SHEET NUMBER **D-202**



LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURES TO REMAIN
- EXISTING LIGHT FIXTURE TO BE REMOVED
- SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
- SWITCH AND/OR CIRCUIT TO BE REMOVED
- J-BOX
- SPRINKLER TO REMAIN



CEILING DEMO PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0"

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DEMOLITION KEYNOTES

- 01

-
- 02

-
- 03

EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04

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- 05

EXISTING DRAPERY FABRIC TO BE REMOVED, EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06

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EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4/MODEGREEN'.
- 14

EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15

EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16

-
- 17

EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18

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- 19

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- 20

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- 21

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- 22

PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION

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DRAWING TITLE

CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-203**



LIGHT FIXTURE LEGEND

- E

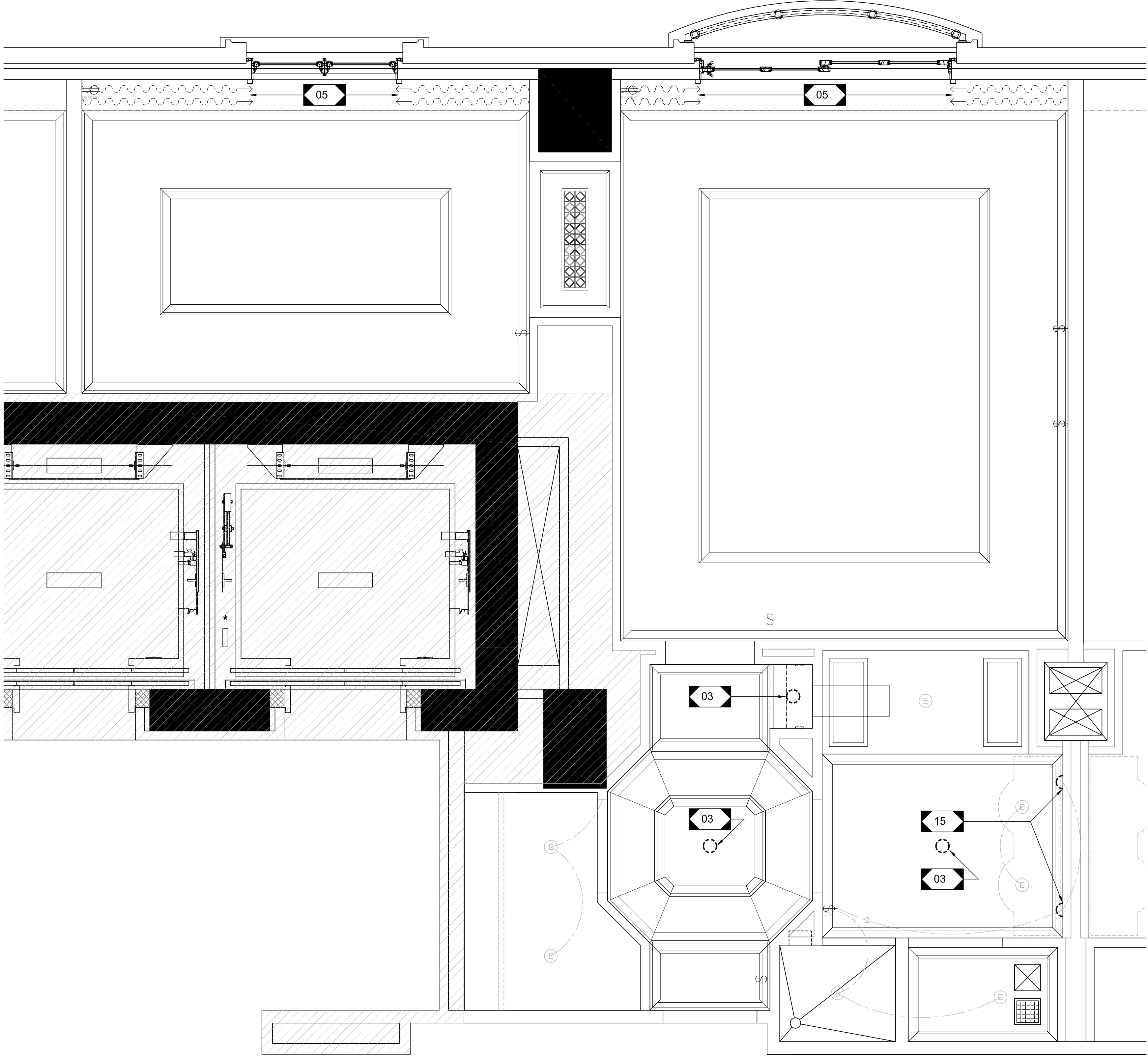
EXISTING LIGHT FIXTURES TO REMAIN
- C

EXISTING LIGHT FIXTURE TO BE REMOVED
- S

SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
- S

SWITCH AND/OR CIRCUIT TO BE REMOVED
- J

J-BOX
- SPRINKLER TO REMAIN



DEMOLITION KEYNOTES

- 01

-
- 02

-
- 03

EXISTING LIGHT FIXTURE TO BE REMOVED, IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04

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- 05

EXISTING DRAPERY FABRIC TO BE REMOVED, EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06

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EXISTING LIGHT FIXTURE TO BE REMOVED, IF FEASIBLE, EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4/MODEGREEN'.
- 14

EXISTING DOWNLIGHT TO BE REMOVED, TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15

EXISTING WALL SCONCES TO BE REMOVED, IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16

-
- 17

EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED, NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18

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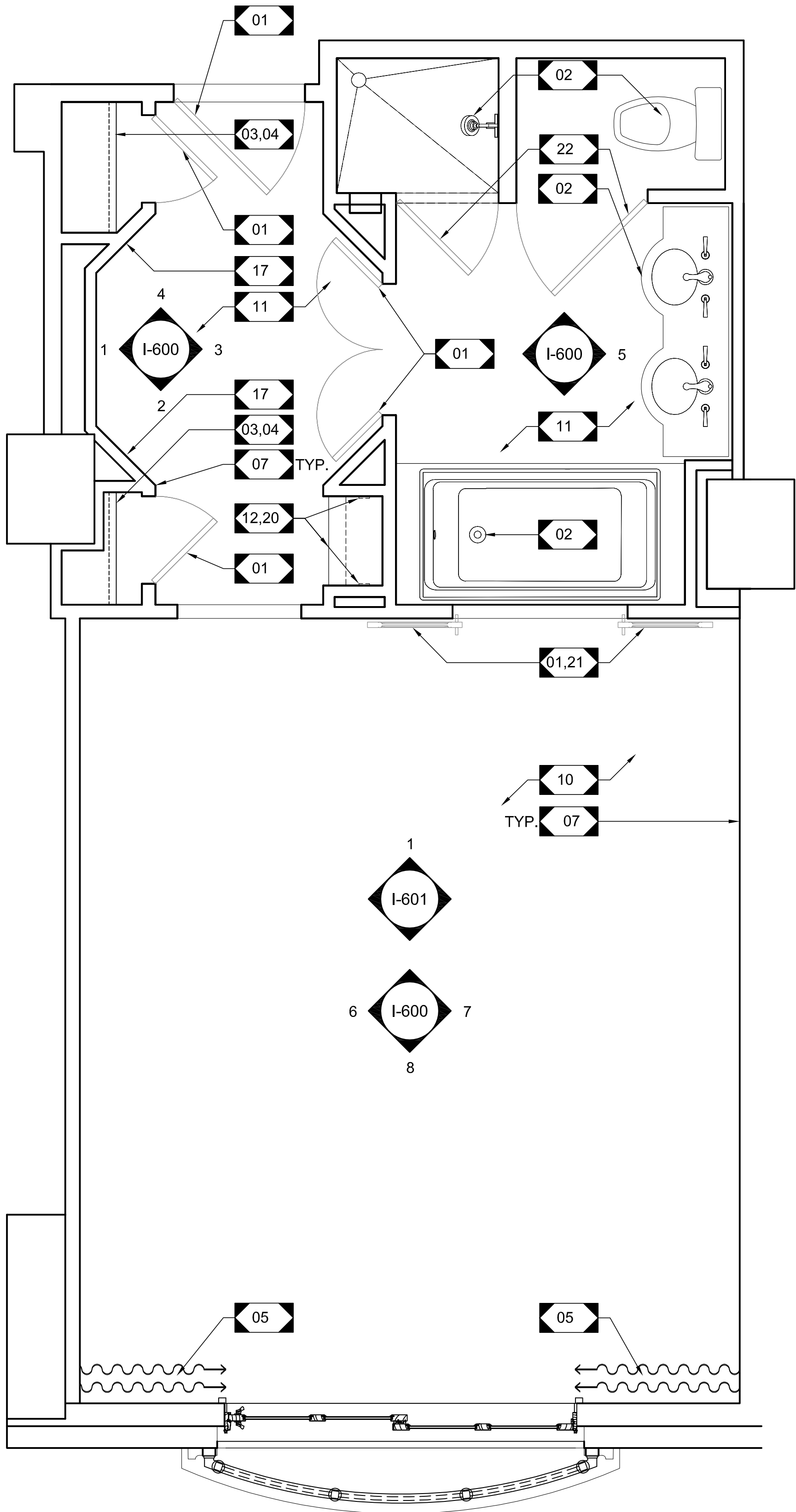
DRAWING TITLE

CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-204**



CONSTRUCTION SHEET NOTES

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH.
10. PROTECT ALL EXISTING MOLDING AND WOOD BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
11. ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
12. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED.
- 03 EXISTING CLOSET SHELF AND ROD
- 04 REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED
- 05 NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06 NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW GYPSUM BOARD ON METAL STUD FRAMING.
- 09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 EXISTING OUTLET
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR
- 15 EXISTING THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE
- 17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
- 18 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.
- 19 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
- 20 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23 EXISTING WALL MOUNTED PHONE
- 24 AREA OF NEW BASE TO MATCH EXISTING
- 25 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 26 NEW INSET, 1" BEVELED, 3/4"THK., CLEAR TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27 NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
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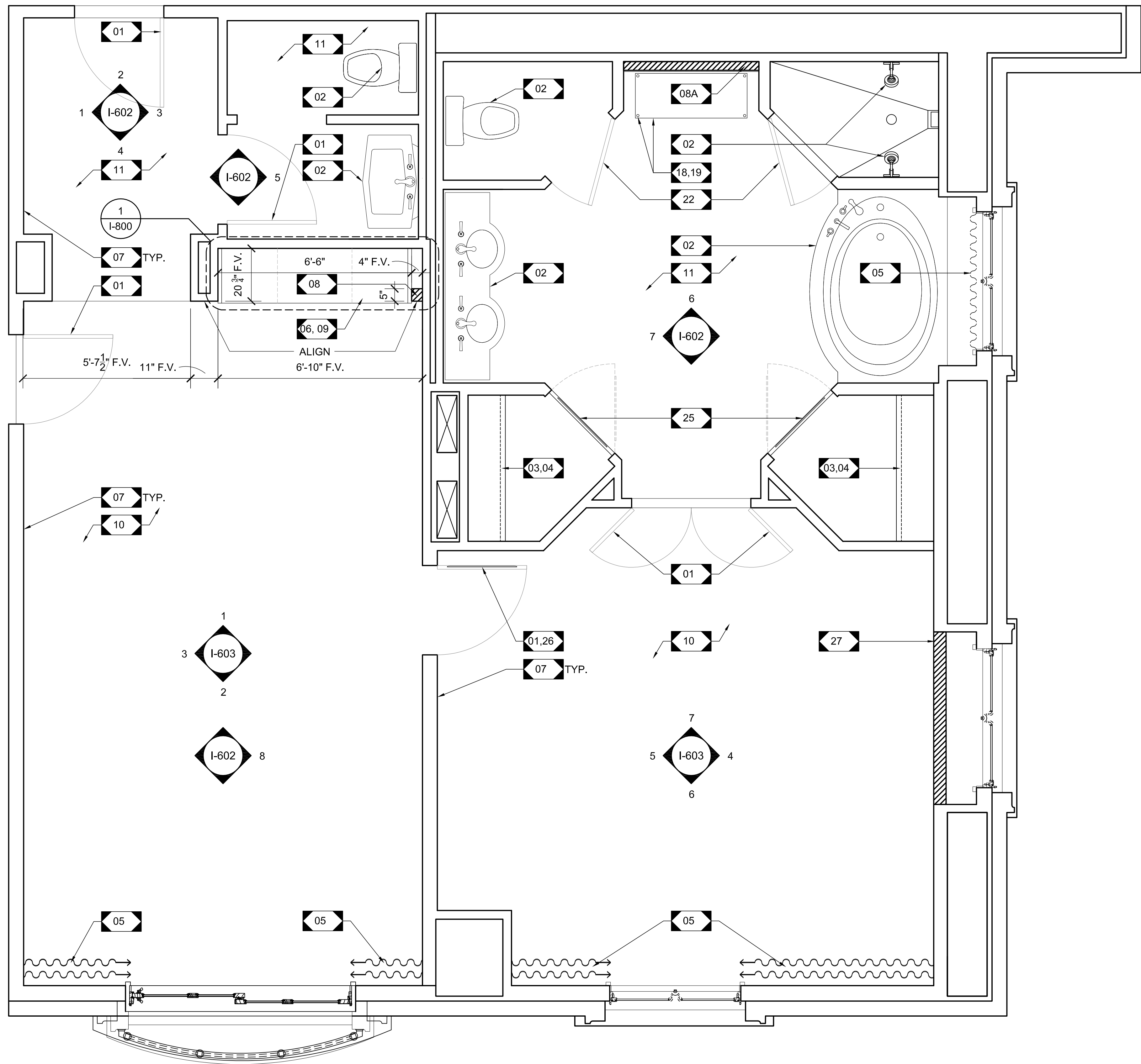
CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-100**





CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED.
- 03 EXISTING CLOSET SHELF AND ROD
- 04 REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED
- 05 NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06 NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW GYPSUM BOARD ON METAL STUD FRAMING. NEW BASE TO MATCH EXISTING IN ALL RESPECTS
- 08A NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW FIRE RETARDANT TREATED PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12 EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 EXISTING OUTLET
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR
- 15 EXISTING THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE
- 17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
- 18 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
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- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23 EXISTING WALL MOUNTED PHONE
- 24 AREA OF NEW BASE TO MATCH EXISTING
- 25 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 26 NEW INSET, 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27 NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO BE SIMILAR TO THAT OF EXISTING INFILL IN SUITE MODEL ROOM #922.

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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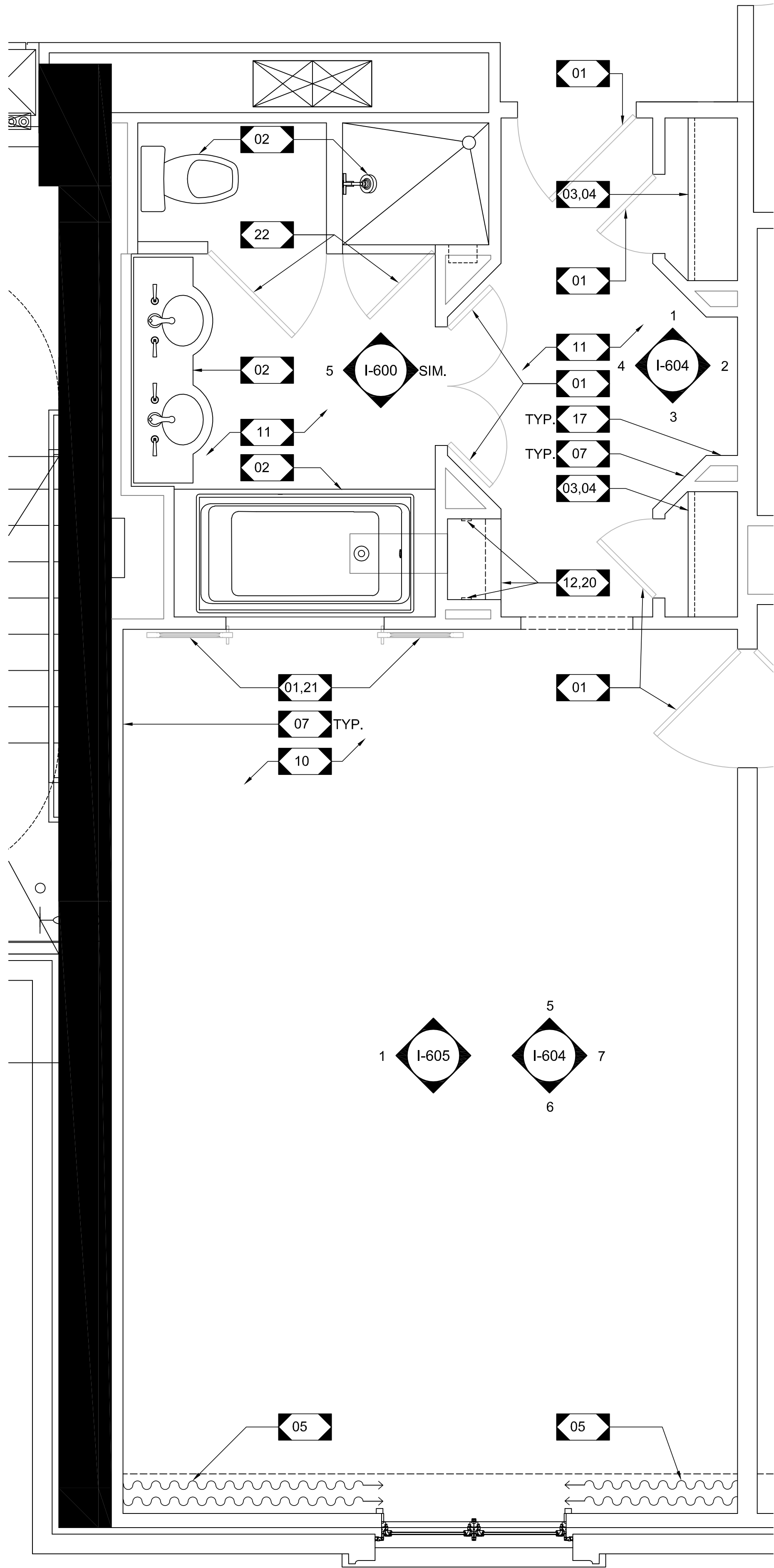
CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-101



CONSTRUCTION PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2 = 1'-0"

1

CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
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- 25 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD . OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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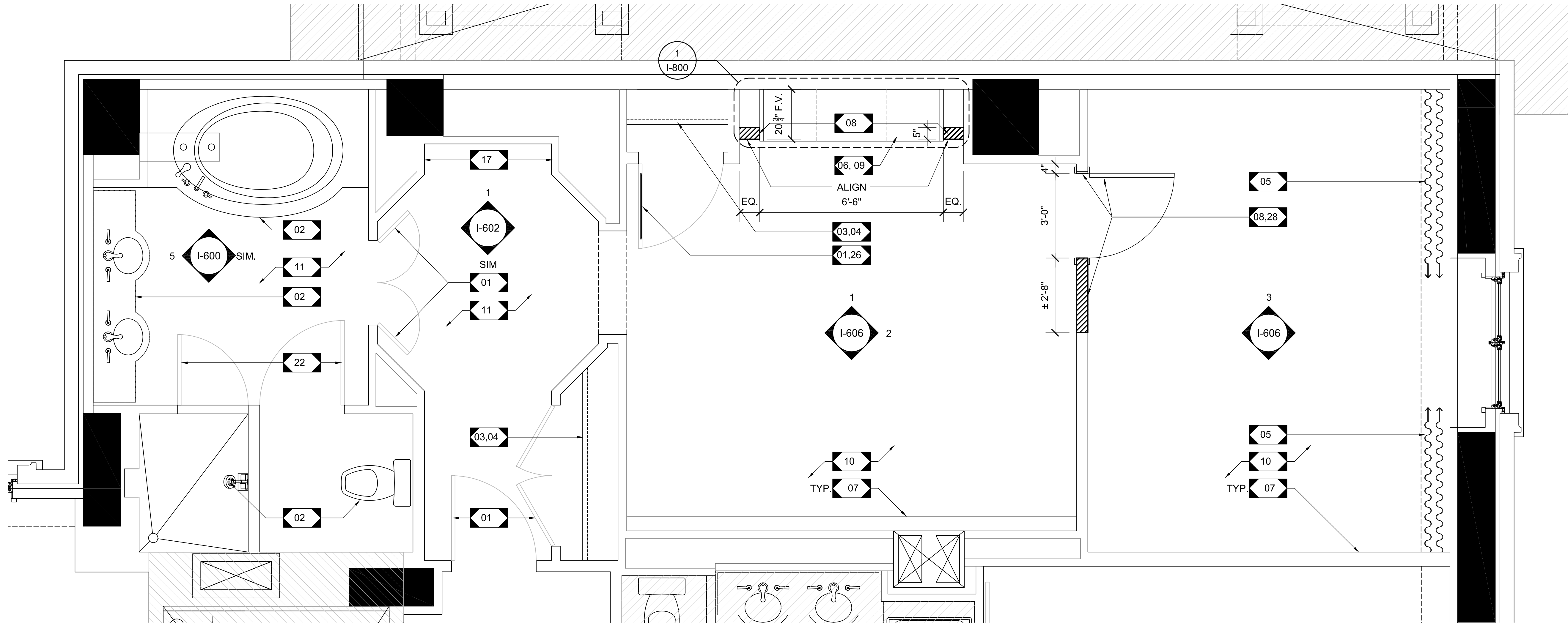
CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER  
**I-102**





CONSTRUCTION PLAN - JUNIOR SUITE

SCALE: 1/2" = 1'-0"

1

CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
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- 28 NEW 3'-0" WIDE SWING DOOR TO MATCH EXISTING PANELED SWING DOORS IN ALL RESPECTS. NEW DOOR HARDWARE AND FRAME TO MATCH EXISTING IN ALL RESPECTS

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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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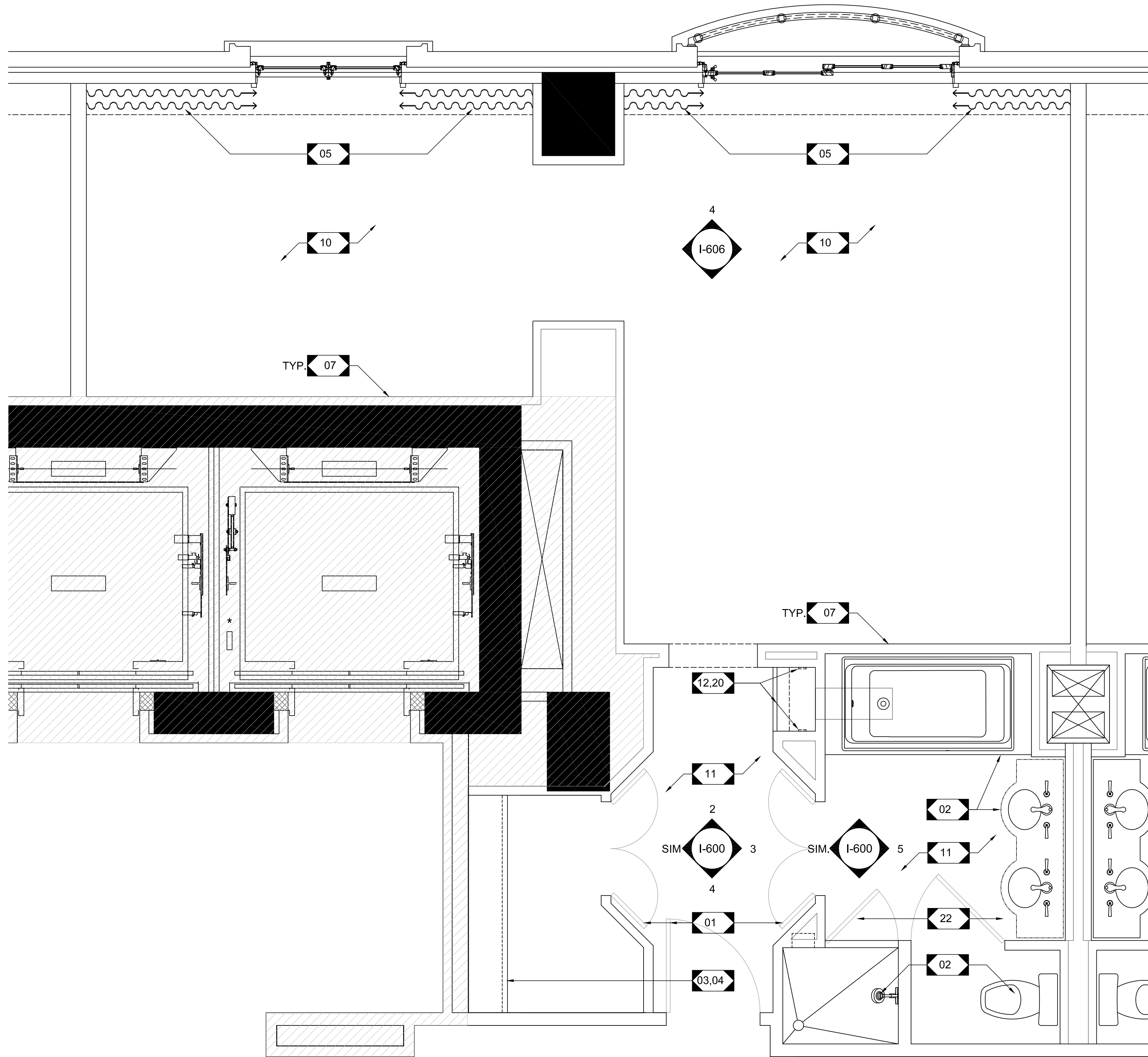
CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-103



CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

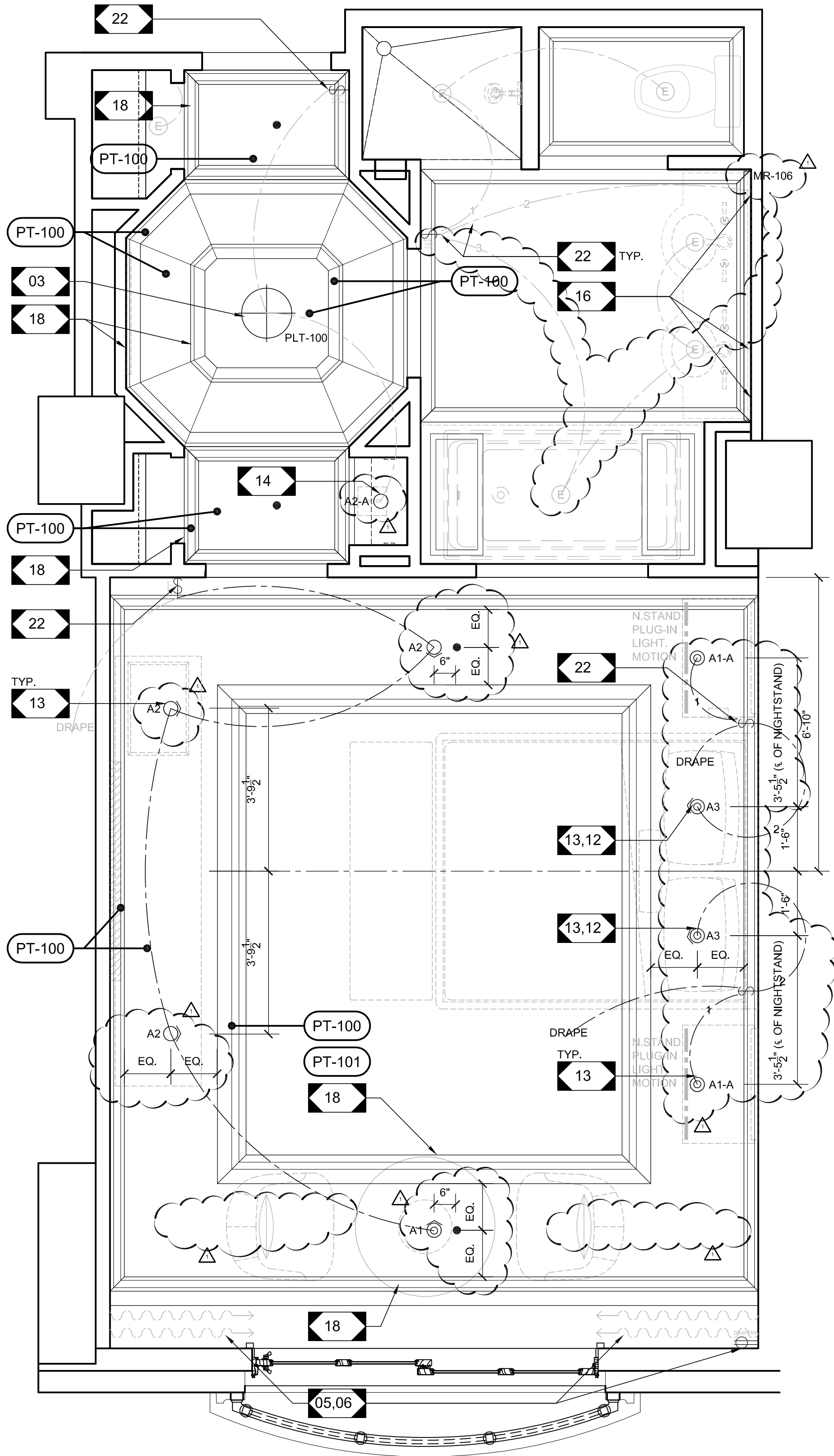
SHEET NUMBER

I-104



LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- PLT-XX CEILING PENDANT
- WSC-XX WALL SCOCNE
- A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- NL 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



REFLECTED CEILING PLAN - TYPICAL KING  
SCALE: 1/2" = 1'-0"

1

REFLECTED CEILING SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- ALL CEILING SURFACES TO BE PAINTED, REFER TO FINISH SCHEDULE FOR PAINT INFORMATION ON I-903.
- PRESERVE AND PROTECT ALL EXISTING EMERGENCY SYSTEM CEILING DEVICES, TYP.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- ALL EXISTING SURFACES OF CEILING, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO FINISH SCHEDULE I-903 FOR SCHEDULED NUMBER OR PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN CEILING OR WALLS SHALL BE PAINTED TO MATCH THE SURFACE FINISH. OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING
- TRIM OF EXISTING DOWNLIGHTS TO BE PAINTED TO MATCH ADJACENT CEILING U.N.O.
- GENERAL LIGHTING NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING 'LUMASTREAM' AND 'CONTROL4' LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM. IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.
- GENERAL LIGHTING NOTE:** ALL NEW DOWNLIGHTING SHOWN IS TO BE PROVIDED BY OWNER FROM EXISTING INVENTORY. COORDINATE ANY NEW REQUIRED COMPONENTRY WITH OWNER PRIOR TO CONSTRUCTION

REFLECTED CEILING KEYNOTES

- 01 -
- 02 -
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 -
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 -
- 08 -
- 09 -
- 10 -
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 -
- 13 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 14 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 15 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16 NEW LINE VOLTAGE WALL SCOCNE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCOCNES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 17 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 18 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- 19 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT. PT-100, TYP.
- 20 -
- 21 NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 22 NEW 'MODEGREEN' / 'CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCOCNE LIGHTS IN THIS AREA
- 23 EXISTING OR NEW 'CONTROL4' SWITCH. CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING 'SCENE' CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1
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DRAWING TITLE

REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER

1714.00

DATE

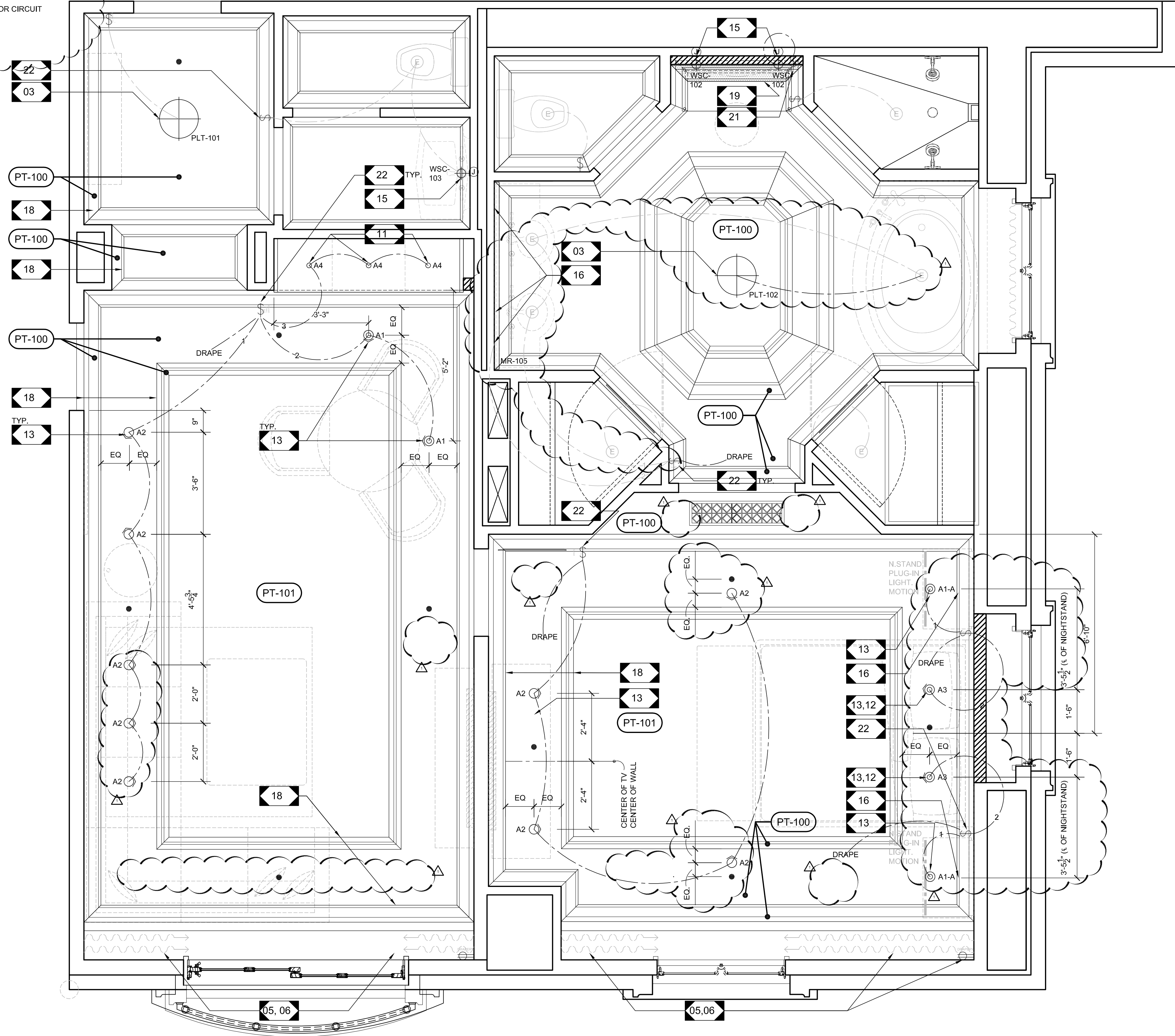
04/16/2018

SHEET NUMBER

I-200

LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- PLT-XX CEILING PENDANT
- WSC-XX WALL SCONCE
- A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60" BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- A3 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, 40" ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



REFLECTED CEILING KEYNOTES

- 01 :  
02 :  
03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.  
04 :  
05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.  
06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED  
07 :  
08 :  
09 :  
10 :  
11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END  
12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED  
13 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.  
14 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.  
15 NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.  
16 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.  
17 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED  
18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.  
19 NEW PAINTED CROWN MOLDING TO MATCH EXISTING IN ALL RESPECTS  
20 NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.  
21 NEW 'MODEGREEN' / 'CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCONCE LIGHTS IN THIS AREA  
22 EXISTING OR NEW 'CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING "SCENE" CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE

REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-201**



○

EXISTING LIGHT FIXTURE

⊕

PLT-XX

CEILING PENDANT

⊕

WSC-XX

WALL SCONCE

⊙

A1, A1-A

2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD  
A1 IS ADJUSTABLE, A1-A IS FIXED

⊙

A2, A2-A

2 1/2", L.E.D. DOWNLIGHT, 60" BEAMSPREAD  
A2 IS ADJUSTABLE, A2-A IS FIXED

⊙

A3

2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD  
40" ADJUSTABILITY

○

A4

1", FF&E BAR PUCK LIGHT

— NL —

6", FF&E NIGHTSTAND NIGHTLIGHT

⌘

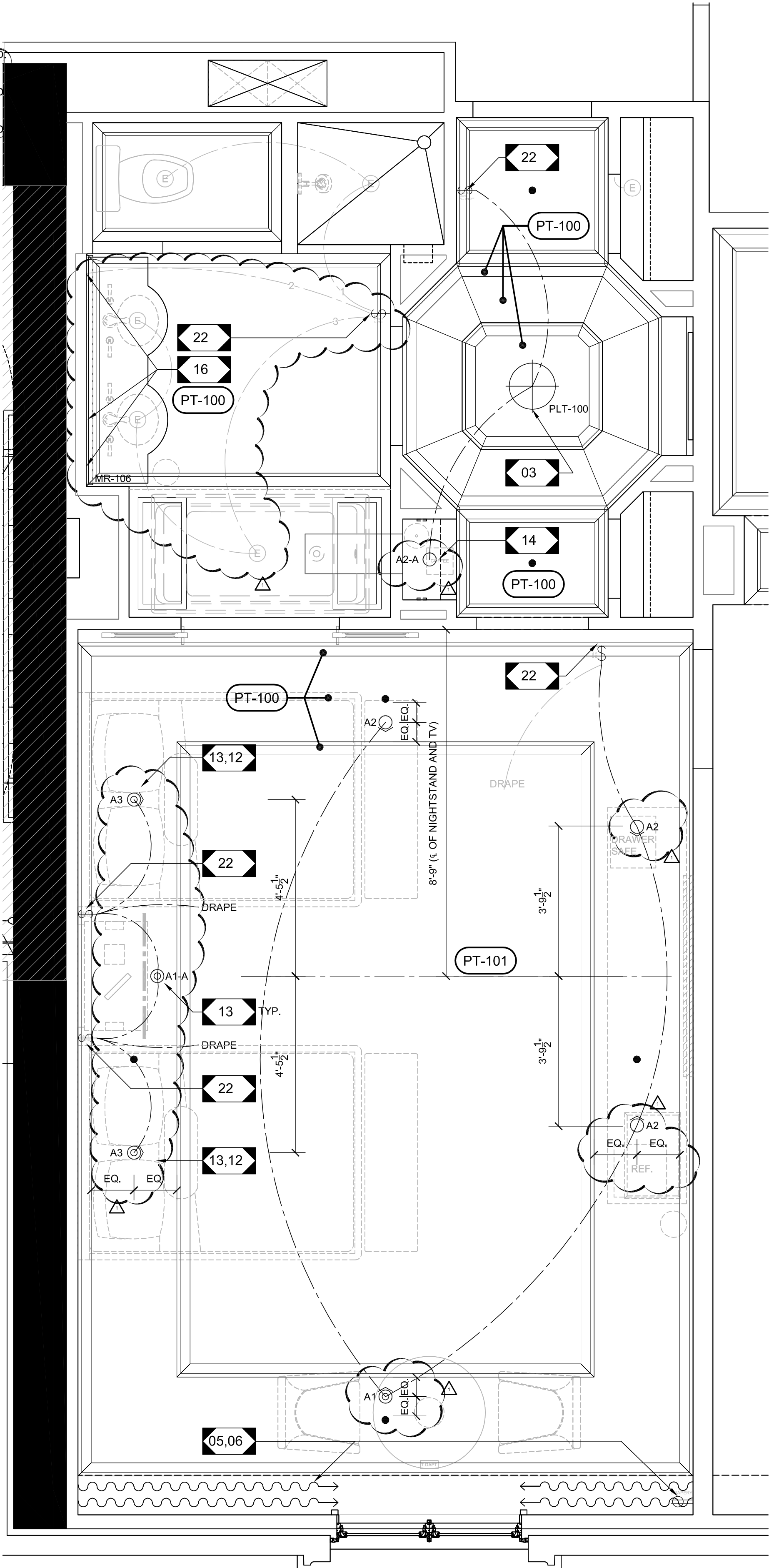
SWITCH AND/OR CIRCUIT

Ⓜ

J-BOX

⚡

SPRINKLER



REFLECTED CEILING PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0"

REFLECTED CEILING KEYNOTES

- 01

:
- 02

:
- 03

:

NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04

:
- 05

:

NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06

:

NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07

:
- 08

:
- 09

:
- 10

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- 11

:

INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12

:

LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 13

:

NEW LIGHT FIXTURE IN **NEW** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 14

:

NEW LIGHT FIXTURE IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 15

:

NEW LINE VOLTAGE WALL SCONCE IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16

:

NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 17

:

NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- 18

:

EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
- 19

:
- 20

:

NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 21

:

NEW 'MODEGREEN' / 'CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCONCE LIGHTS IN THIS AREA
- 22

:

EXISTING OR NEW 'CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING "SCENE" CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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07/25/18	ADDENDUM #1

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DRAWING TITLE

REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

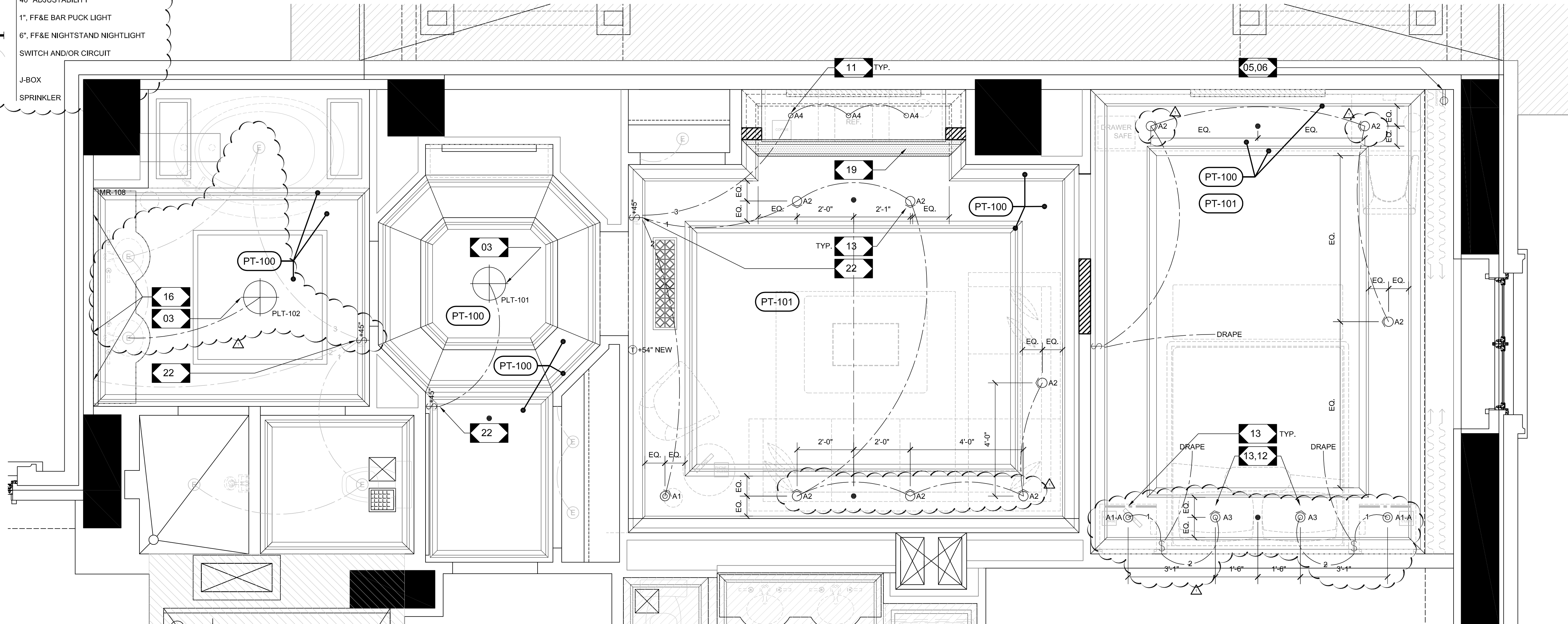
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER  
**1-202**

## LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- PLT-XX CEILING PENDANT
- WSC-XX WALL SCONCE
- A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- NL 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



REFLECTED CEILING PLAN - JUNIOR SUITE

SCALE: 1/2" = 1'-0"

1

## REFLECTED CEILING KEYNOTES

- 01 -
- 02 -
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 -
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 -
- 08 -
- 09 -
- 10 -

- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 13 NEW LIGHT FIXTURE IN **NEW** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
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- 15 NEW LINE VOLTAGE WALL SCONCE IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 17 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED

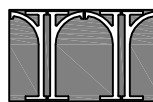
- 18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18 PERMIT SET/RELEASED FOR CONST.

07/25/18 ADDENDUM #1

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DRAWING TITLE

REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER

1714.00

DATE

04/16/2018

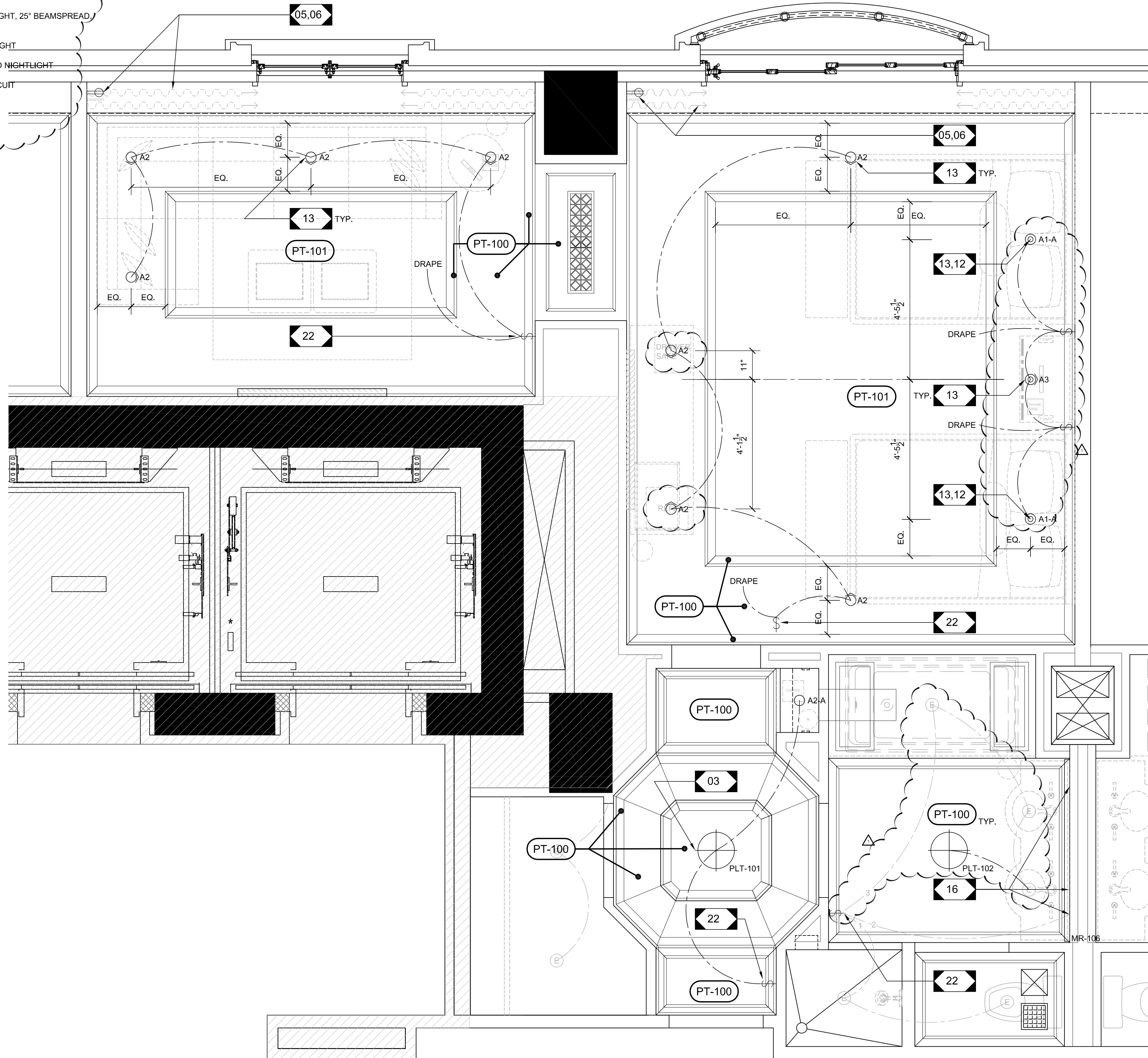
SHEET NUMBER

**I-203**



LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- PLT-XX CEILING PENDANT
- WSC-XX WALL SCONCE
- A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60" BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- A3 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, 40" ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



REFLECTED CEILING KEYNOTES

- 01 -
- 02 -
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 -
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- 08 -
- 09 -
- 10 -
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
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- 13 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 14 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 15 NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 17 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- 18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
- 19 -
- 20 NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 21 NEW 'MODEGREEN / CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCONCE LIGHTS IN THIS AREA
- 22 EXISTING OR NEW 'CONTROL4' SWITCH. CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING 'SCENE' CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18 PERMIT SET/RELEASED FOR CONST.

07/25/18 ADDENDUM #1

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DRAWING TITLE

REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

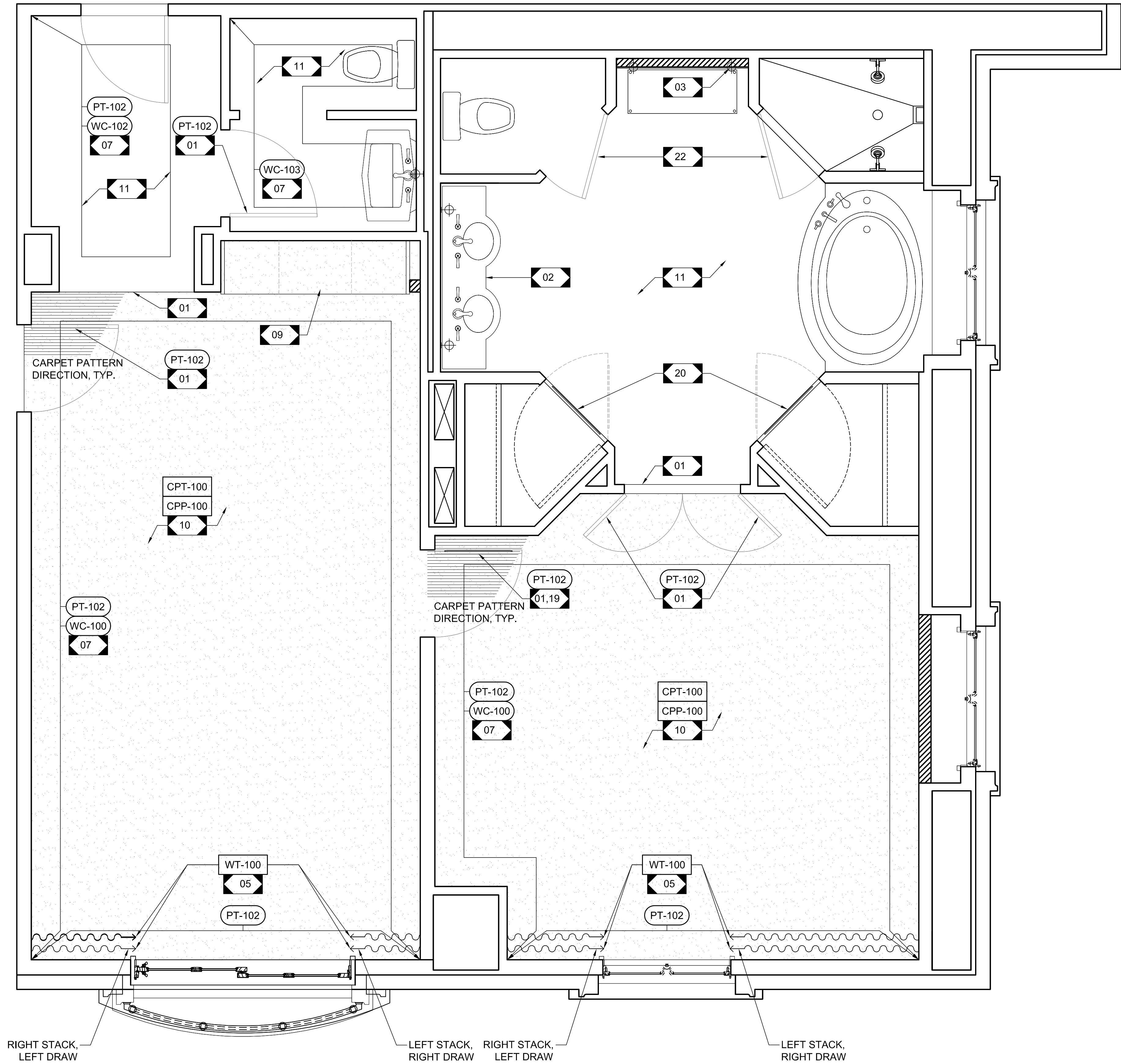
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-204





CONSTRUCTION KEYNOTES

- 01 NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03 NEW 1" BEVELED, 3/4"THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04 -
- 05 NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06 -
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09 NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 -
- 14 -
- 15 -
- 16 -
- 17 -
- 18 -
- 19 NEW INSET, 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 20 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMANENTLY PROPOSED REVISIONS
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DRAWING TITLE

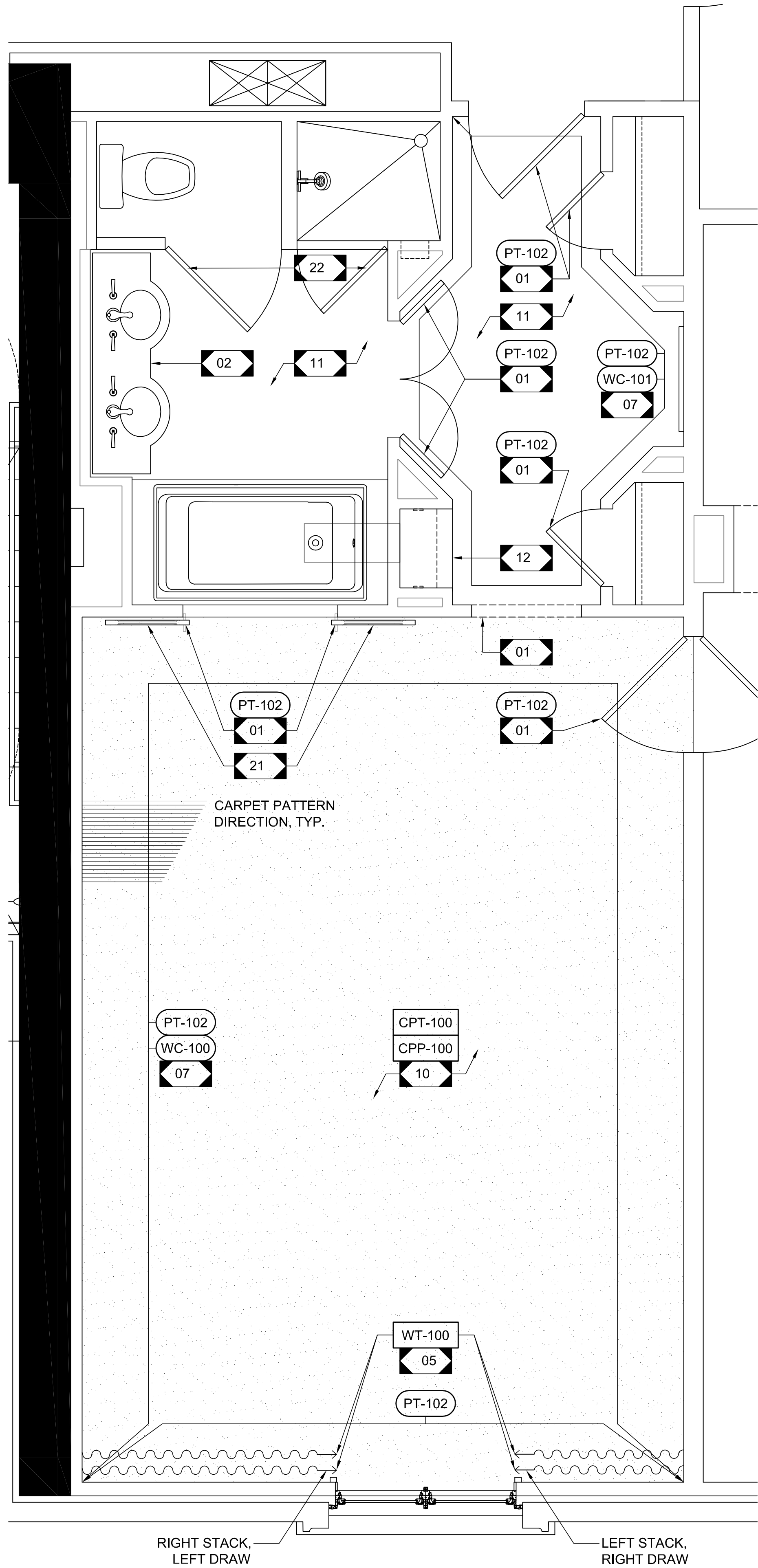
FINISH PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER I-301





FINISH PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0"

CONSTRUCTION KEYNOTES

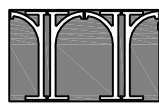
- 01 NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03 NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04 -
- 05 NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06 -
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09 NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 -
- 14 -
- 15 -
- 16 -
- 17 -
- 18 -
- 19 -
- 20 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
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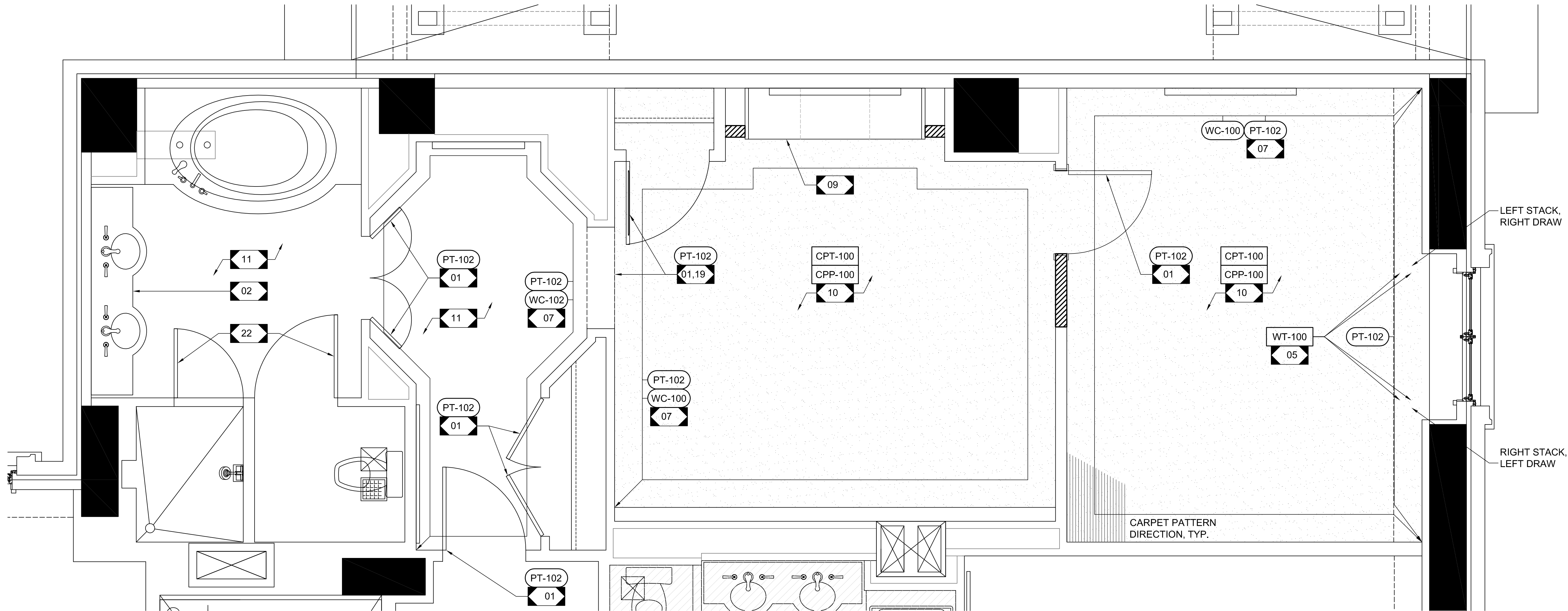
DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER  
**I-302**



FINISH PLAN - JUNIOR SUITE

SCALE: 1/2" = 1'-0"

1

CONSTRUCTION KEYNOTES

- 01 NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03 NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04 -
- 05 NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06 -
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09 NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-900 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 -
- 14 -
- 15 -
- 16 -
- 17 -
- 18 -
- 19 NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 20 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE

- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR
- 

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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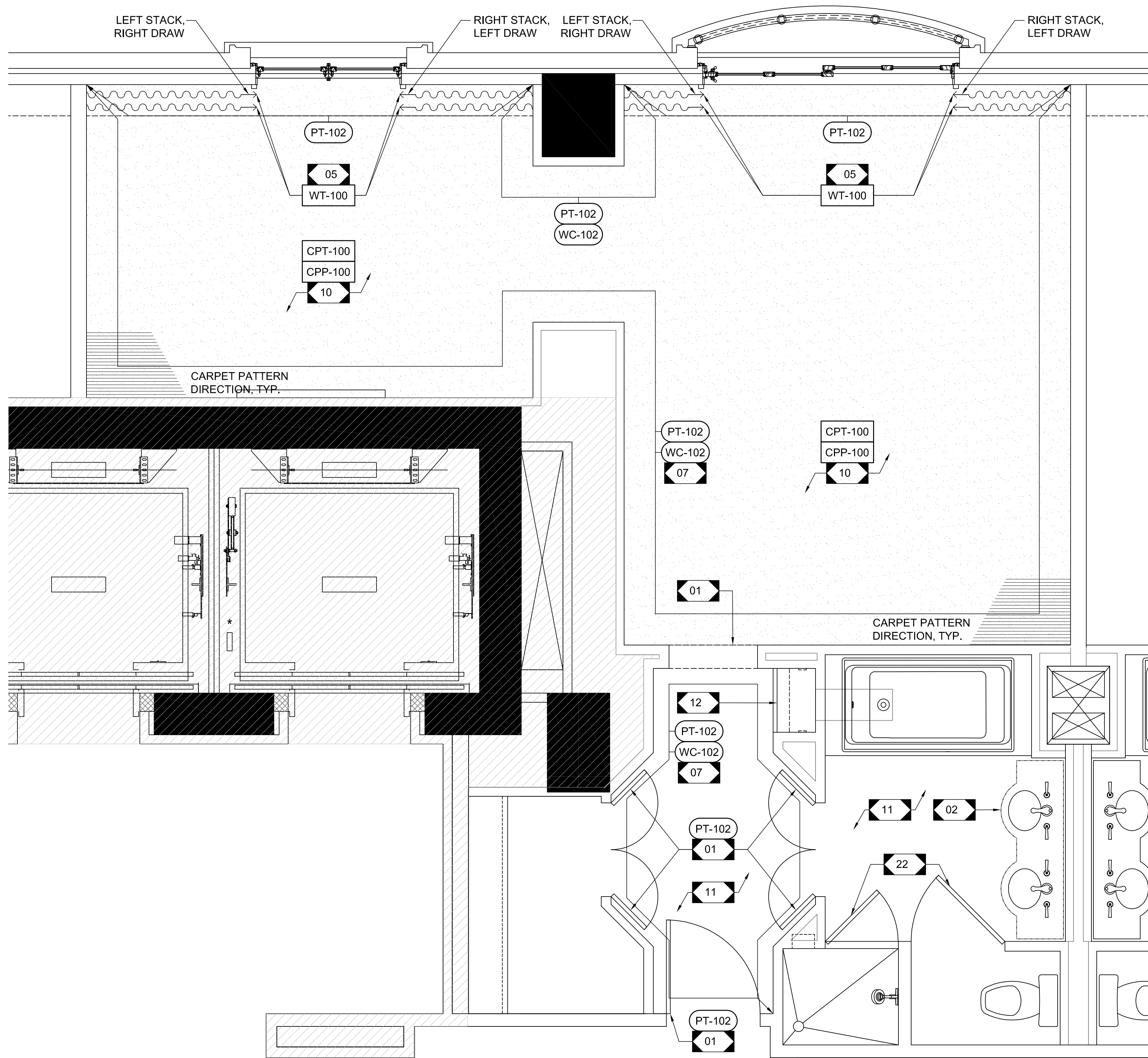
DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-303**



CONSTRUCTION KEYNOTES

- 01

NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02

EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03

NEW 1" BEVELED, 3/4"THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04

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- 05

NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06

-
- 07

NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08

NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09

NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10

NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11

EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12

EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13

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- 19

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- 20

RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 21

NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22

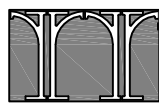
EXISTING GLASS DOOR

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

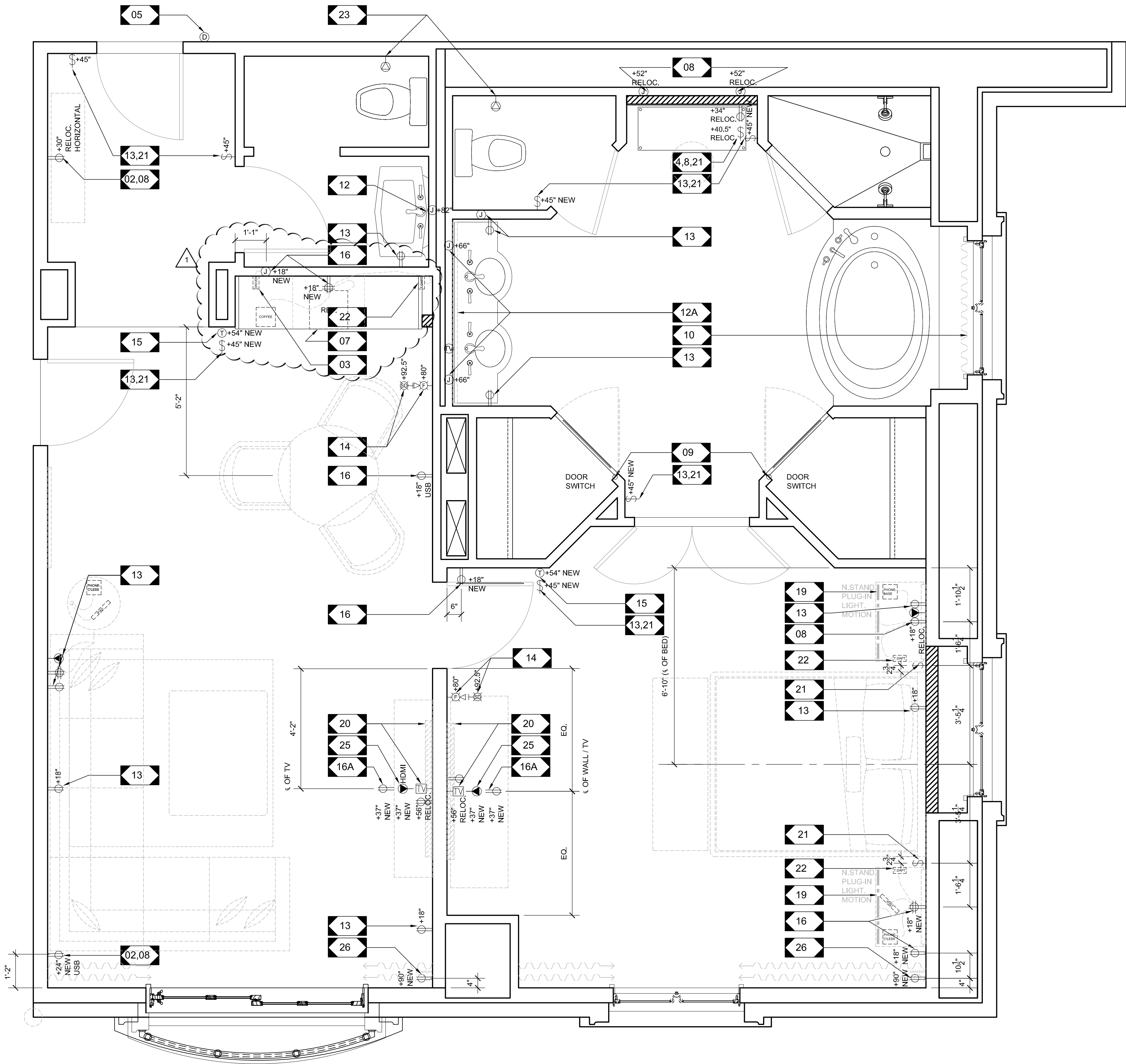
DATE 04/16/2018

SHEET NUMBER  
**I-304**





# I-400



POWER & DATA PLAN - TYPICAL SUITE  
SCALE: 1/2" = 1'-0"

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POWER AND DATA KEYNOTES

- 01 EXISTING SCONCE LIGHT/OUTLET/SWITCH AND/OR CONTROL CIRCUIT TO BE TERMINATED/REMOVED. PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH
- 02 NEW OUTLET OR SWITCH TO BE MOUNTED IN HORIZONTAL ORIENTATION
- 03 NEW SURFACE MOUNTED DRIVER FOR CASEWORK LIGHTING TO BE CONNECTED TO NEW J-BOX. FF&E ITEM TO BE COORDINATED BY G.C.
- 04 DEVICES TO BE MOUNTED IN NEW FURRED OUT MIRROR CONSTRUCTION. COVER PLATES TO BE DISCUSSED/COORDINATED
- 05 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- 06 NEW "KING" SCHEDULED UNDER COUNTER REFRIGERATOR. "MINIBAR SYSTEMS", MODEL #GUESTFRIDGE 65, SOLID DOOR
- 07 NEW "SUITE" SCHEDULED UNDER COUNTER REFRIGERATOR. "PERLICK", MODEL #HH24BS-3-3R
- 08 RE-LOCATED EXISTING J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE.
- 09 EXISTING DOOR SWITCH
- 10 NEW MOTORIZED ROMAN SHADE. SHADE TO BE CONTROLLED BY "MODEGREEN" / "CONTROL4" WALL DEVICE
- 11 NEW "DOOR" OR "MOTION" TYPE LIGHT SWITCH
- 12 NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING "MODEGREEN" / "CONTROL4" CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE.
- 12A NEW LINE VOLTAGE "ELECTRIC" MIRROR WITH INTEGRAL TV. IF FEASIBLE, UTILIZE EXISTING "MODEGREEN" / "CONTROL4" / TV CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC, LOCAL ELECTRIC CODE AND THE OWNER.
- 13 EXISTING SCONCE LIGHT, OUTLET, SWITCH OR TV CONNECTION
- 14 EXISTING FIRE STROBE, SMOKE DETECTOR OR HEARING IMPAIRED ALARM STROBE
- 15 NEW "MODEGREEN" THERMOSTAT
- 16 NEW J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE
- 16A NEW POWER LOCATION FOR GUEST PLUG-IN. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS
- 17 "STEELCASE", "THREAD", FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.C. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
- 18 NEW RECESSED "CLOCK BOX" OUTLET SIZED TO RECEIVE "CONTROL 4" PLUG/DIMMER DEVICE
- 19 "PLUG END" L.E.D. STRIP LIGHT WITH MOTION ACTIVATION SUPPLIED AS PART OF FF&E NIGHT STAND. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 20 NEW 65" "SAMSUNG" TV AND "WORLDWIDE" TV CONTROL BOX BY OWNER
- 21 NEW "MODEGREEN" / "CONTROL4" SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN ON SHEETS 1-200 AND 1-201. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING "SCENE" CONTROL TO BE COORDINATED BETWEEN MODEGREEN, OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION
- 22 "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 23 EXISTING WALL MOUNTED PHONE. REPAIR AND/OR REFURBISH AS REQUIRED.
- 24 EXISTING "NESPRESSO" COFFEE MACHINE
- 25 NEW MULTI-PORT USB/HDMI WALL DEVICE FOR GUEST PLUG-IN CENTERED ON TV AND MOUNTED W/ TOP EDGE OF DEVICE 1" BELOW BOTTOM EDGE OF TV. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS
- 26 NEW DUPLEX OUTLET FOR DRAPERY MOTOR(S). G.C. TO COORDINATE LOCATION WITH SPECIFIED DRAPERY TRACK AND MOTOR(S). OUTLET AND ALL COMPONENTS TO BE CONCEALED.

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1
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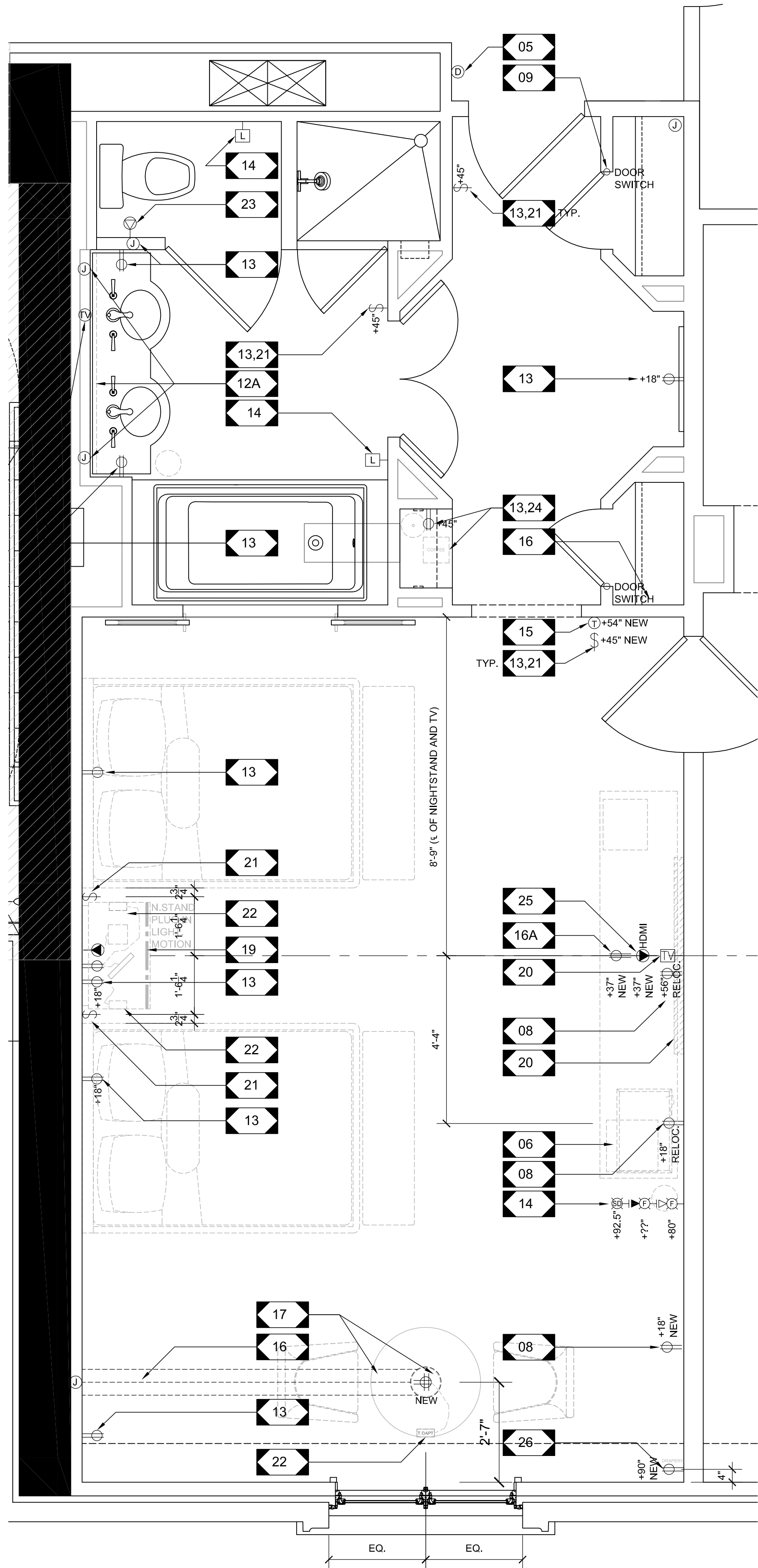
POWER & DATA PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-401



POWER & DATA PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0"

1

POWER AND DATA KEYNOTES

- 01 EXISTING SCONCE LIGHT/OUTLET/SWITCH AND/OR CONTROL CIRCUIT TO BE TERMINATED/REMOVED. PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH
- 02 NEW OUTLET OR SWITCH TO BE MOUNTED IN HORIZONTAL ORIENTATION
- 03 NEW OUTLET AT EXISTING HEIGHT TO RECEIVE PLUG FOR INTEGRAL PLUG-END CASEWORK LIGHTING
- 04 DEVICES TO BE MOUNTED IN NEW FURRED OUT MIRROR CONSTRUCTION. COVER PLATES TO BE DISCUSSED/COORDINATED
- 05 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- 06 NEW "KING" SCHEDULED UNDER COUNTER REFRIGERATOR. "MINIBAR SYSTEMS", MODEL #GUESTFRIDGE 65, SOLID DOOR
- 07 NEW "SUITE" SCHEDULED UNDER COUNTER REFRIGERATOR. "PERLICK", MODEL #HH24BS-3-3R
- 08 RE-LOCATED EXISTING J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE.
- 09 EXISTING DOOR SWITCH
- 10 NEW MOTORIZED ROMAN SHADE. SHADE TO BE CONTROLLED BY "MODEGREEN" / "CONTROL4" WALL DEVICE
- 11 NEW "DOOR" OR "MOTION" TYPE LIGHT SWITCH
- 12 NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING "MODEGREEN" / "CONTROL4" CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE.
- 12A NEW LINE VOLTAGE "ELECTRIC" MIRROR WITH INTEGRAL TV. IF FEASIBLE, UTILIZE EXISTING "MODEGREEN" / "CONTROL4" / TV CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC, LOCAL ELECTRIC CODE AND THE OWNER.
- 13 EXISTING SCONCE LIGHT, OUTLET, SWITCH OR TV CONNECTION
- 14 EXISTING FIRE STROBE, SMOKE DETECTOR OR HEARING IMPAIRED ALARM STROBE
- 15 NEW "MODEGREEN" THERMOSTAT
- 16 NEW J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF "MODEGREEN" / "CONTROL4", THE NEC AND LOCAL ELECTRIC CODE
- 16A NEW POWER LOCATION FOR GUEST PLUG-IN. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS
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- 25 NEW MULTI-PORT USB/HDMI WALL DEVICE FOR GUEST PLUG-IN CENTERED ON TV AND MOUNTED W/ TOP EDGE OF DEVICE 1" BELOW BOTTOM EDGE OF TV. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS
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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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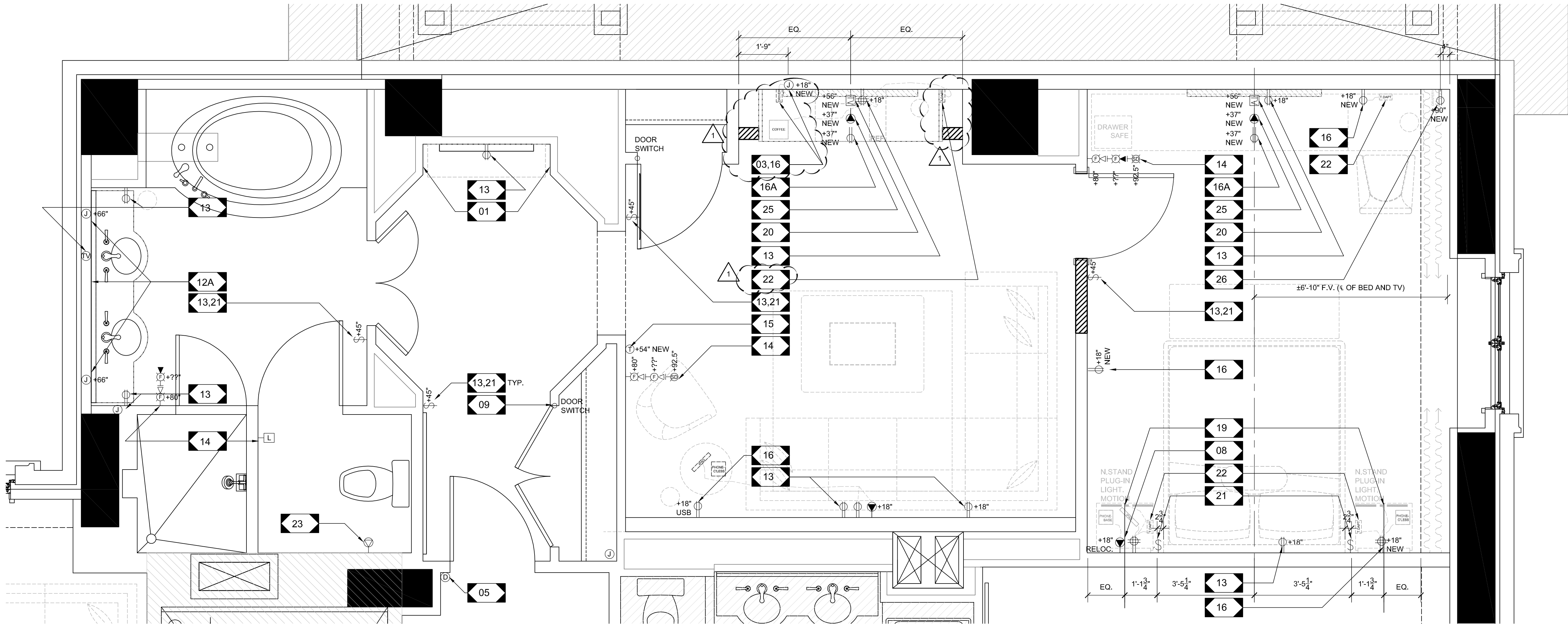
POWER & DATA PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER 1-402





POWER & DATA PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0"

1

### POWER AND DATA KEYNOTES

- 01 EXISTING SCONCE LIGHT/OUTLET/SWITCH AND/OR CONTROL CIRCUIT TO BE TERMINATED/REMOVED. PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH
- 02 NEW OUTLET OR SWITCH TO BE MOUNTED IN HORIZONTAL ORIENTATION
- 03 NEW SURFACE MOUNTED DRIVER FOR CASEWORK LIGHTING TO BE CONNECTED TO NEW J-BOX. FF&E ITEM TO BE COORDINATED BY G.C.
- 04 DEVICES TO BE MOUNTED IN NEW FURRED OUT MIRROR CONSTRUCTION. COVER PLATES TO BE DISCUSSED/COORDINATED
- 05 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- 06 NEW "KING" SCHEDULED UNDER COUNTER REFRIGERATOR, 'MINIBAR SYSTEMS', MODEL #GUESTFRIDGE 65, SOLID DOOR
- 07 NEW "SUITE" SCHEDULED UNDER COUNTER REFRIGERATOR, 'PERLUCK', MODEL #H24BS-3-R
- 08 RE-LOCATED EXISTING J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN / CONTROL4', THE NEC AND LOCAL ELECTRIC CODE.
- 09 EXISTING DOOR SWITCH
- 10 NEW MOTORIZED ROMAN SHADE. SHADE TO BE CONTROLLED BY 'MODEGREEN / CONTROL4' WALL DEVICE

- 11 NEW "DOOR" OR "MOTION" TYPE LIGHT SWITCH
- 12 NEW LINE VOLTAGE WALL SCONCE IN **EXISTING** LOCATION. IF FEASIBLE, UTILIZE EXISTING 'MODEGREEN / CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN / CONTROL4', THE NEC AND LOCAL ELECTRIC CODE.
- 12A NEW LINE VOLTAGE "ELECTRIC" MIRROR WITH INTEGRAL TV. IF FEASIBLE, UTILIZE EXISTING 'MODEGREEN / CONTROL4' / TV CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN / CONTROL4', THE NEC, LOCAL ELECTRIC CODE AND THE OWNER.
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- 14 EXISTING FIRE STROBE, SMOKE DETECTOR OR HEARING IMPAIRED ALARM STROBE
- 15 NEW 'MODEGREEN' THERMOSTAT
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- 18 NEW RECESSED "CLOCK BOX" OUTLET SIZED TO RECEIVE "CONTROL 4" PLUG/DIMMER DEVICE
- 19 "PLUG END" I.E.D. STRIP LIGHT WITH MOTION ACTIVATION SUPPLIED AS PART OF FF&E NIGHT STAND. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 20 NEW 65" SAMSUNG TV AND "WORLDWIDE" TV CONTROL BOX BY OWNER
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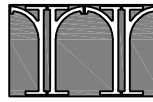
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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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07/25/18	ADDENDUM #1
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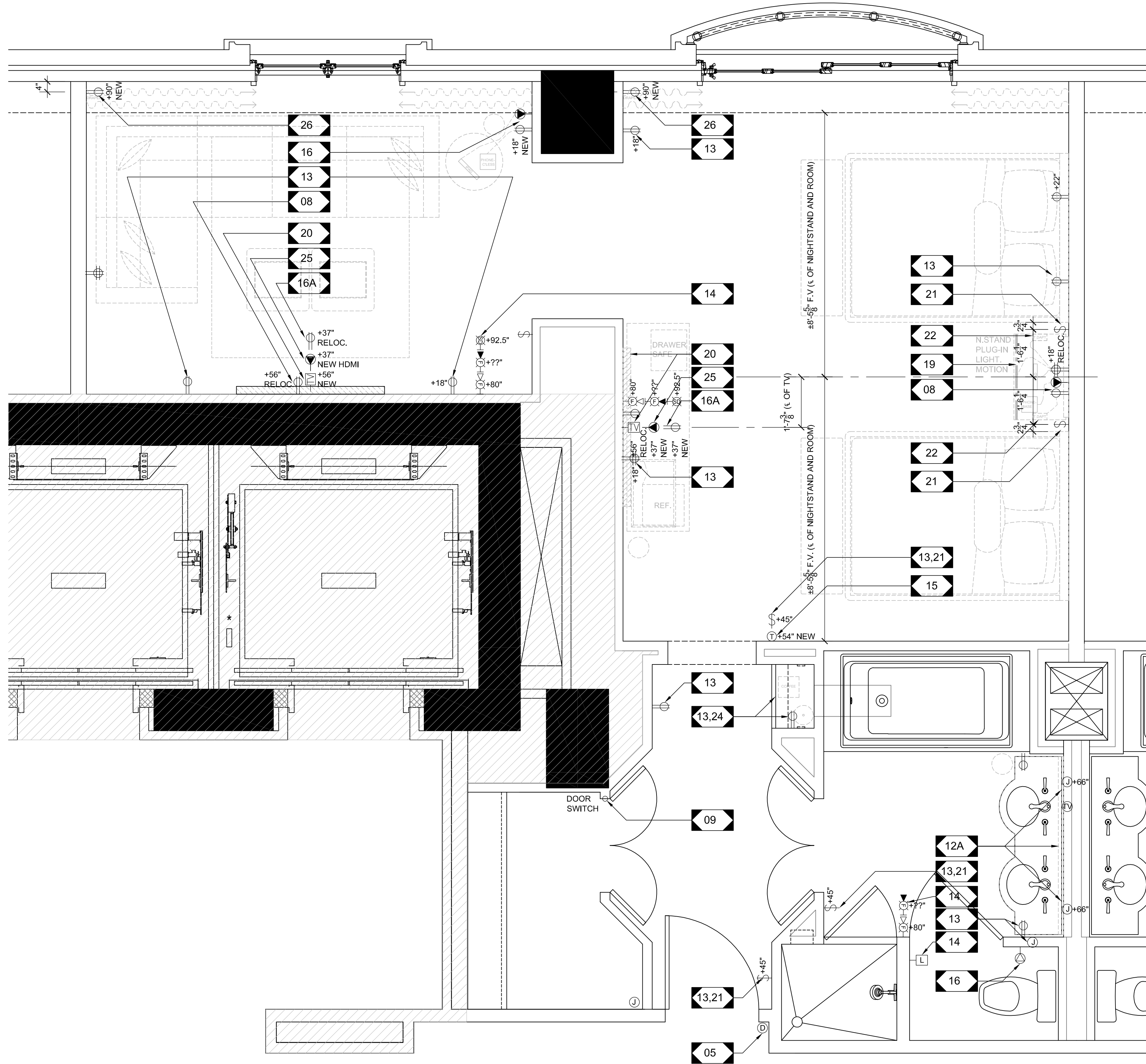
DRAWING TITLE

POWER & DATA PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-403**



POWER AND DATA KEYNOTES

- 01 EXISTING SCONCE LIGHT/OUTLET/SWITCH AND/OR CONTROL CIRCUIT TO BE TERMINATED/REMOVED. PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH
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- 06 NEW "KING" SCHEDULED UNDER COUNTER REFRIGERATOR, "MINIBAR SYSTEMS", MODEL #GUESTFRIDGE 65, SOLID DOOR
- 07 NEW "SUITE" SCHEDULED UNDER COUNTER REFRIGERATOR, "PERLICK", MODEL #HH24BS-3-3R
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ST. REGIS GUESTROOM RENOVATIONS

88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE

POWER & DATA PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER

1714.00

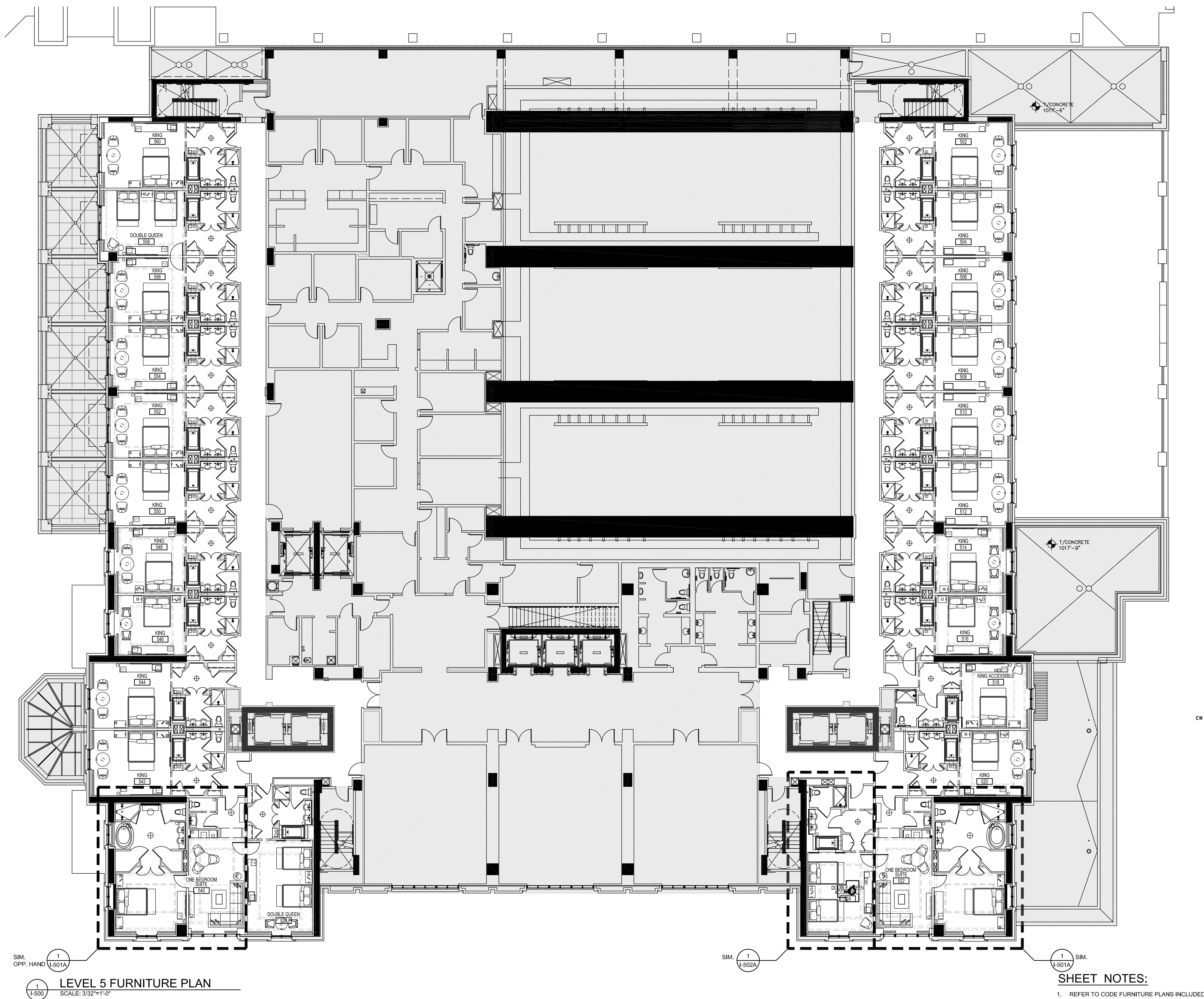
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04/16/2018

SHEET NUMBER

I-404





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DRAWING TITLE

OVERALL GUESTROOM & STANDARD SUITES FURNITURE PLAN LEVEL 5

PROJECT NUMBER

1714.00

DATE

4/16/2018

SHEET NUMBER

I-500

SHEET NOTES:

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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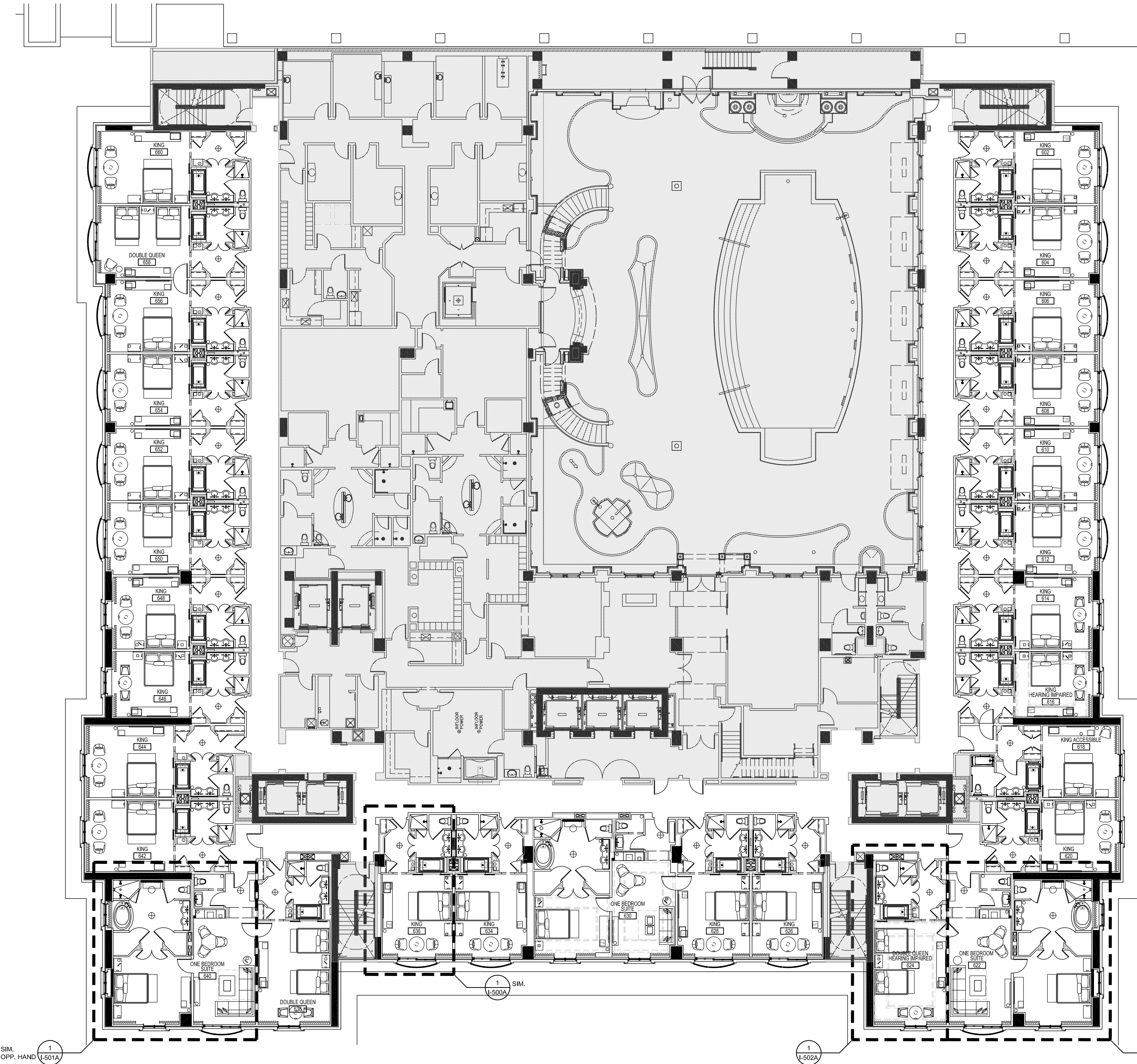
DRAWING TITLE  
OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 6

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-501



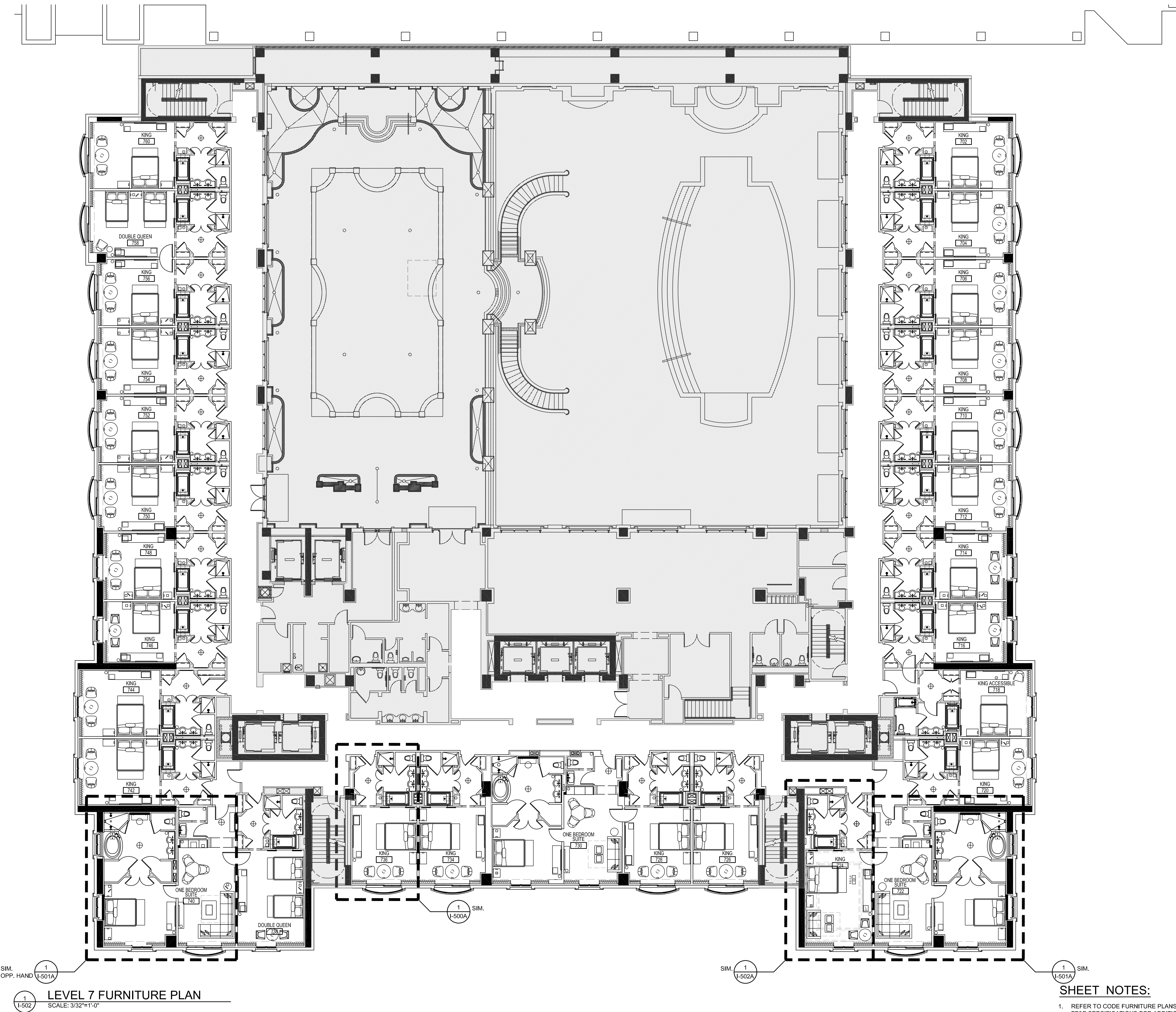
SIM. OPP. HAND

LEVEL 6 FURNITURE PLAN  
SCALE: 3/32"=1'-0"

SHEET NOTES:

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.





SIM.  
OPP. HAND

1  
I-501A

1  
I-502

LEVEL 7 FURNITURE PLAN  
SCALE: 3/32"=1'-0"

SIM.

1  
I-502A

SIM.

1  
I-501A

**SHEET NOTES:**

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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**DRAWING TITLE**

OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 7

PROJECT NUMBER

1714.00

DATE

04/16/2018

SHEET NUMBER

**I-502**



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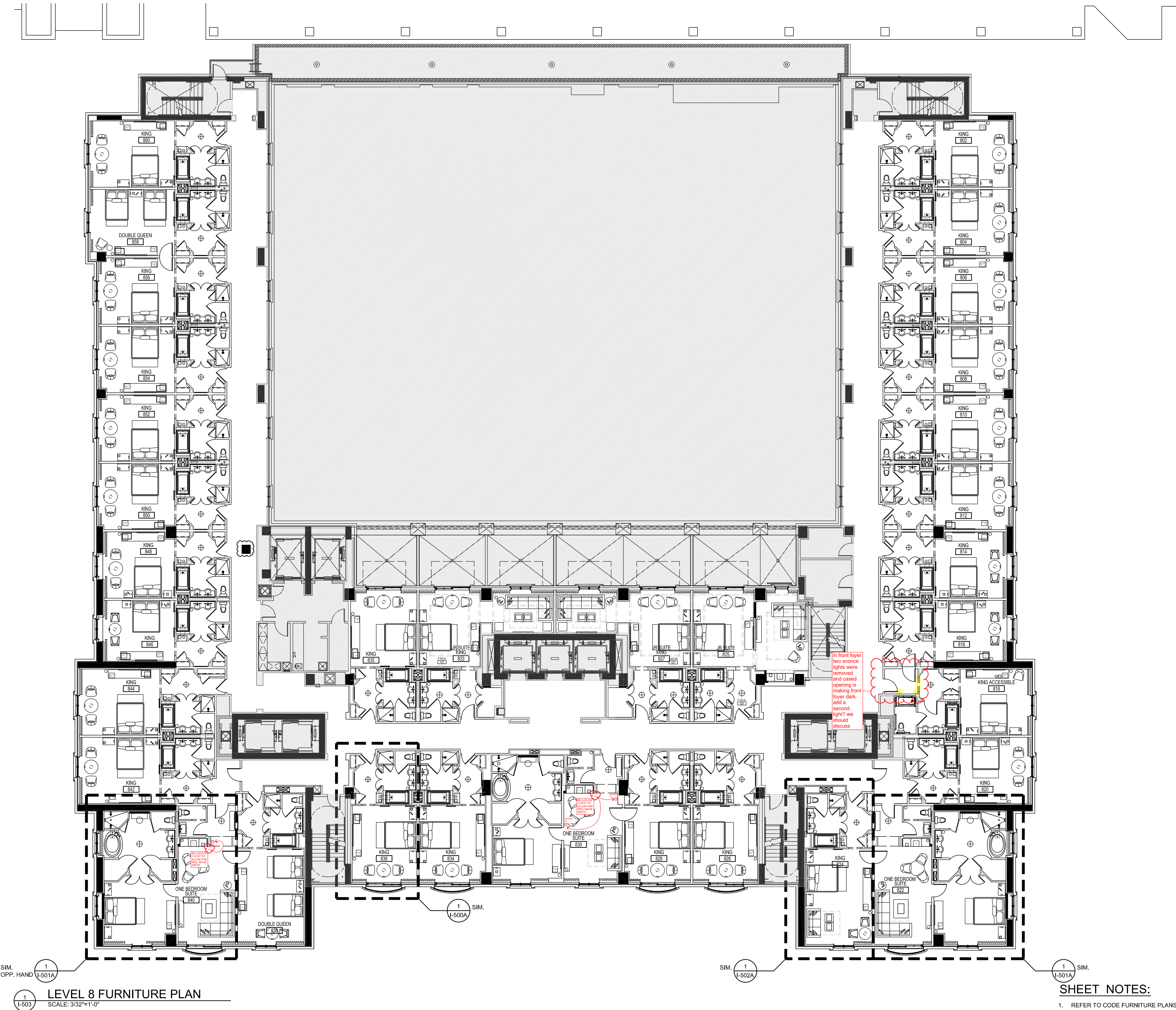
DRAWING TITLE  
OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 8

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-503



SHEET NOTES:

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

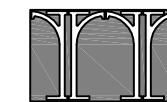


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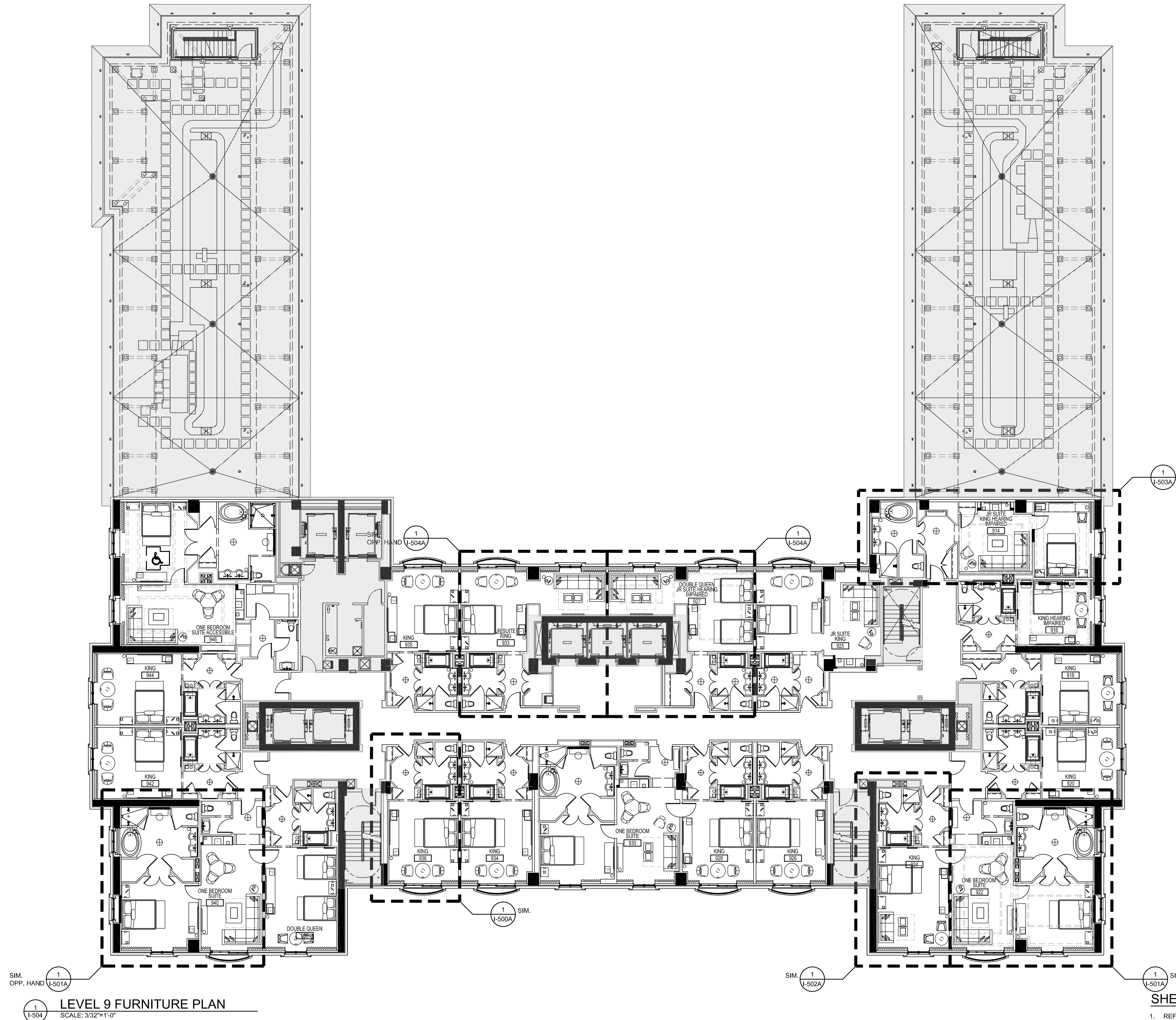
OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 9

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER

I-504



LEVEL 9 FURNITURE PLAN

SCALE: 3/32"=1'-0"

SHEET NOTES:

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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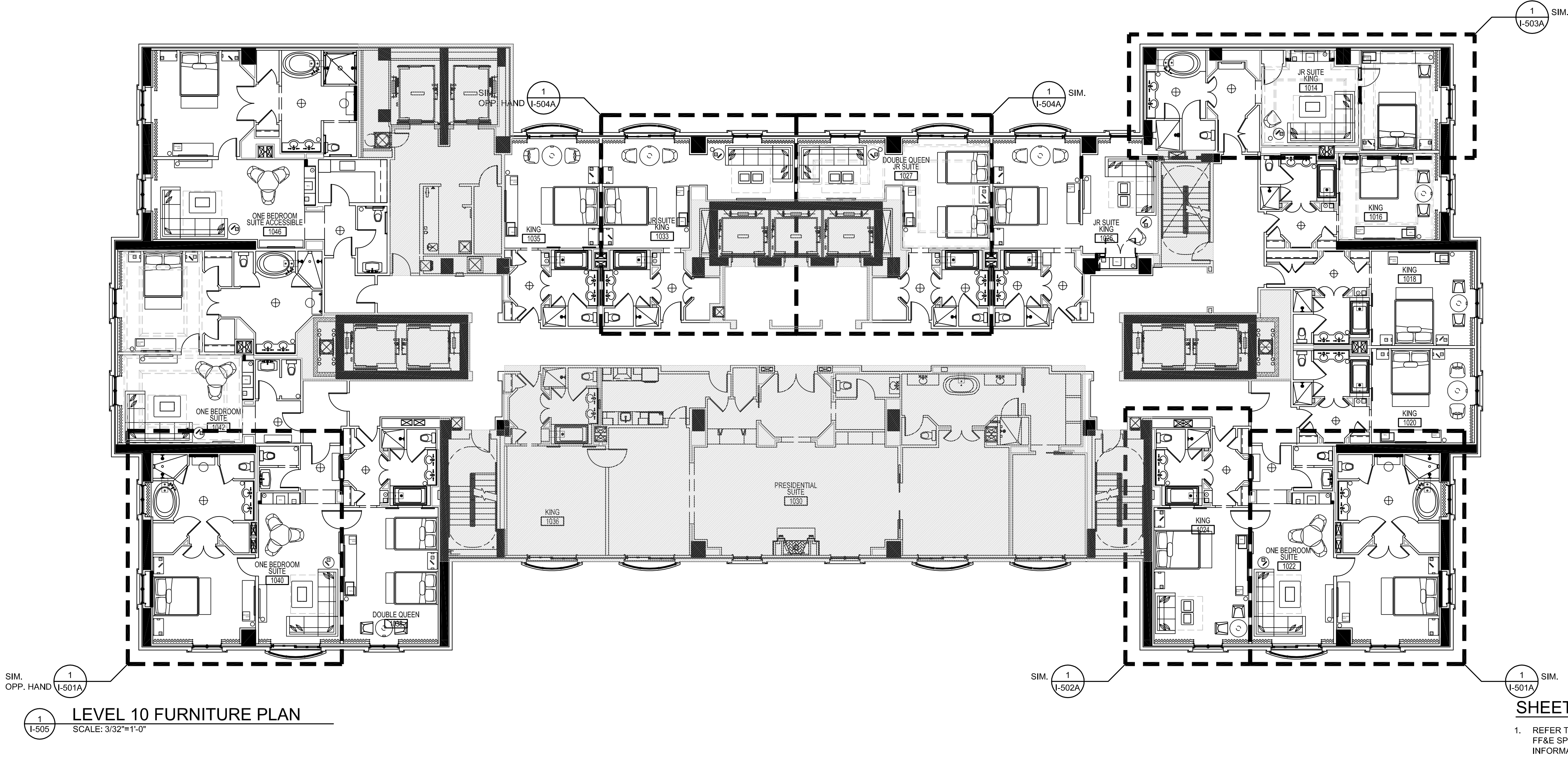
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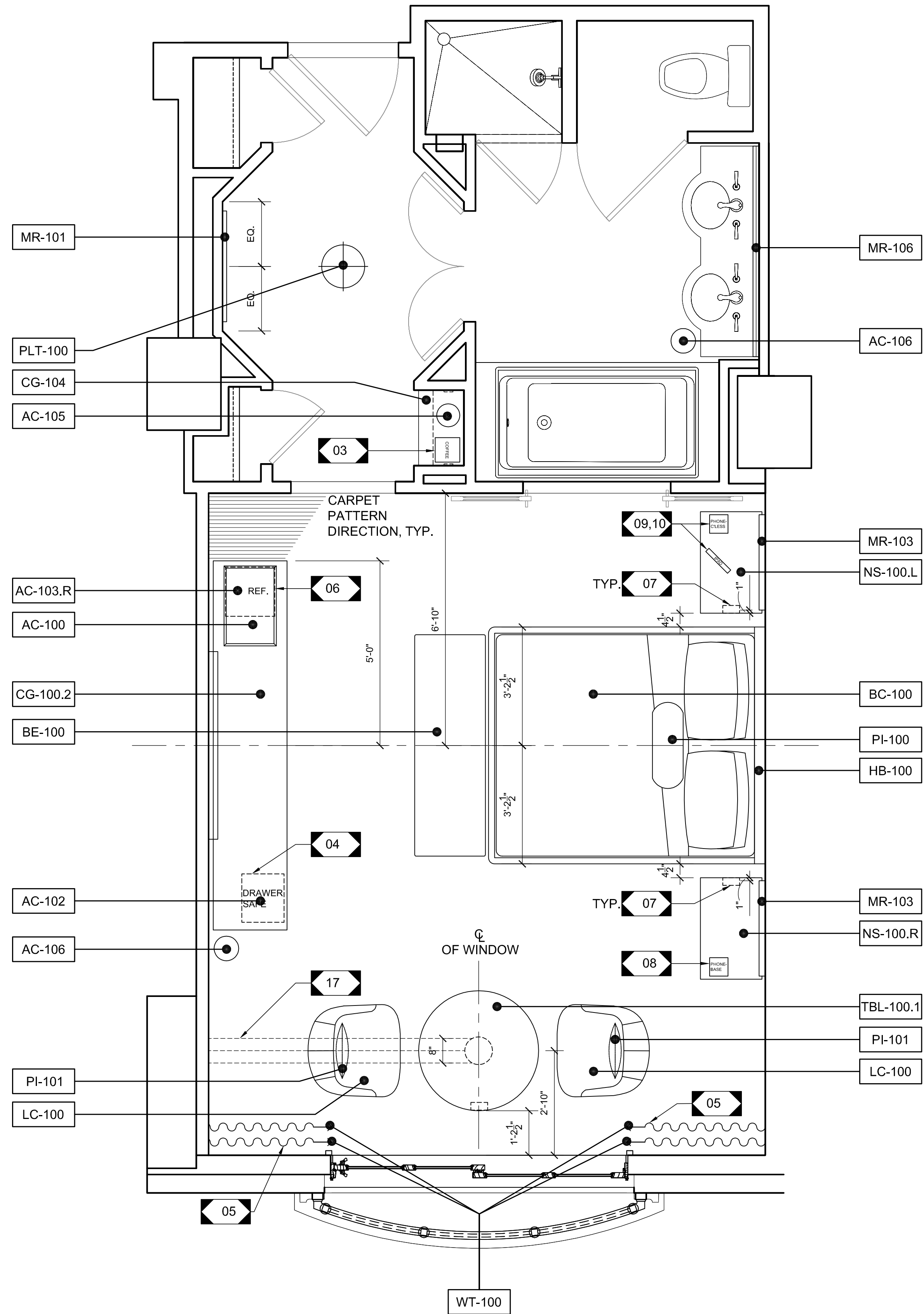
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DRAWING TITLE	
OVERALL GUESTROOM & STANDARD SUITES FURNITURE PLAN LEVEL 10	
PROJECT NUMBER	1714.00
DATE	3/14/2018
SHEET NUMBER	I-505





FURNITURE PLAN - TYPICAL KING  
SCALE: 1/2" = 1'-0"

FF+E SHEET NOTES

1. REFER TO FF+E SCHEDULE AND SPECIFICATIONS FOR FF+E KEYED NOTE DESCRIPTIONS INCLUDING NEW LIGHT FIXTURES.
2. TV, AUDIO VISUAL AND PERSONAL CONNECTIVITY EQUIPMENT BY OWNER.
3. REFER TO ELEVATIONS ON I-E-601 FOR MOUNTING LOCATIONS OF ARTWORK AND MIRRORS.

FF+E KEYNOTES

- 01 -
- 02 -
- 03 COFFEE MACHINE LOCATION
- 04 DRAWER SAFE. SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 PHONE BASE LOCATION
- 09 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 I-PAD DEVICE
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -
- 16 -
- 17 'STEELCASE' 'THREAD' FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.C. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED. PRIOR TO CONSTRUCTION
- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

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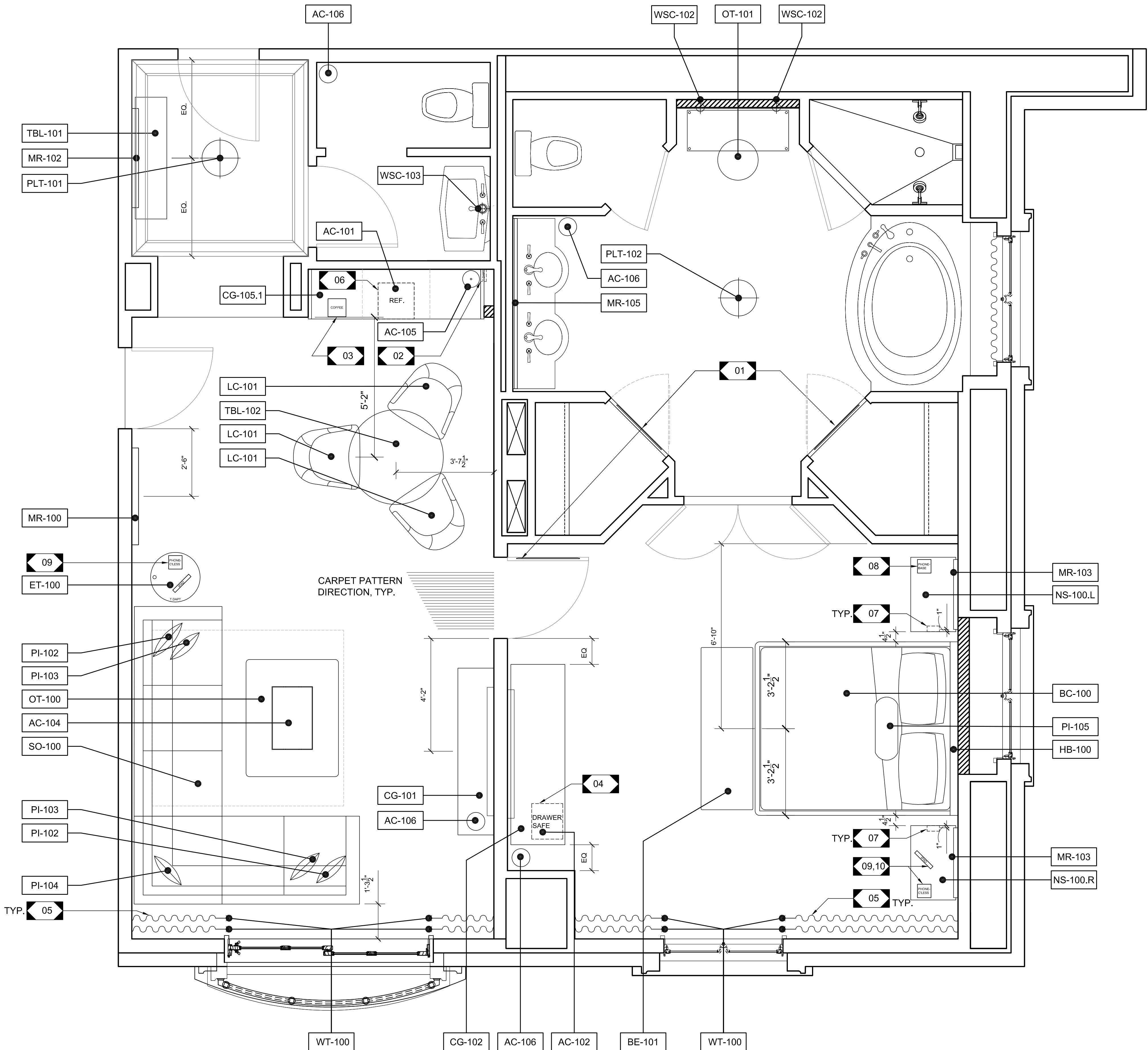
FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-500A**





FF+E KEYNOTES

- 01 INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD
- 02 "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF MILLWORK ITEM. REFER TO MILLWORK SHOP DRAWINGS FOR MORE INFORMATION
- 03 COFFEE MACHINE LOCATION
- 04 DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 PHONE BASE LOCATION
- 09 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 I-PAD DEVICE
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -
- 16 -
- 17 'STEELCASE', 'THREAD', FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.G. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER. CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION

- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

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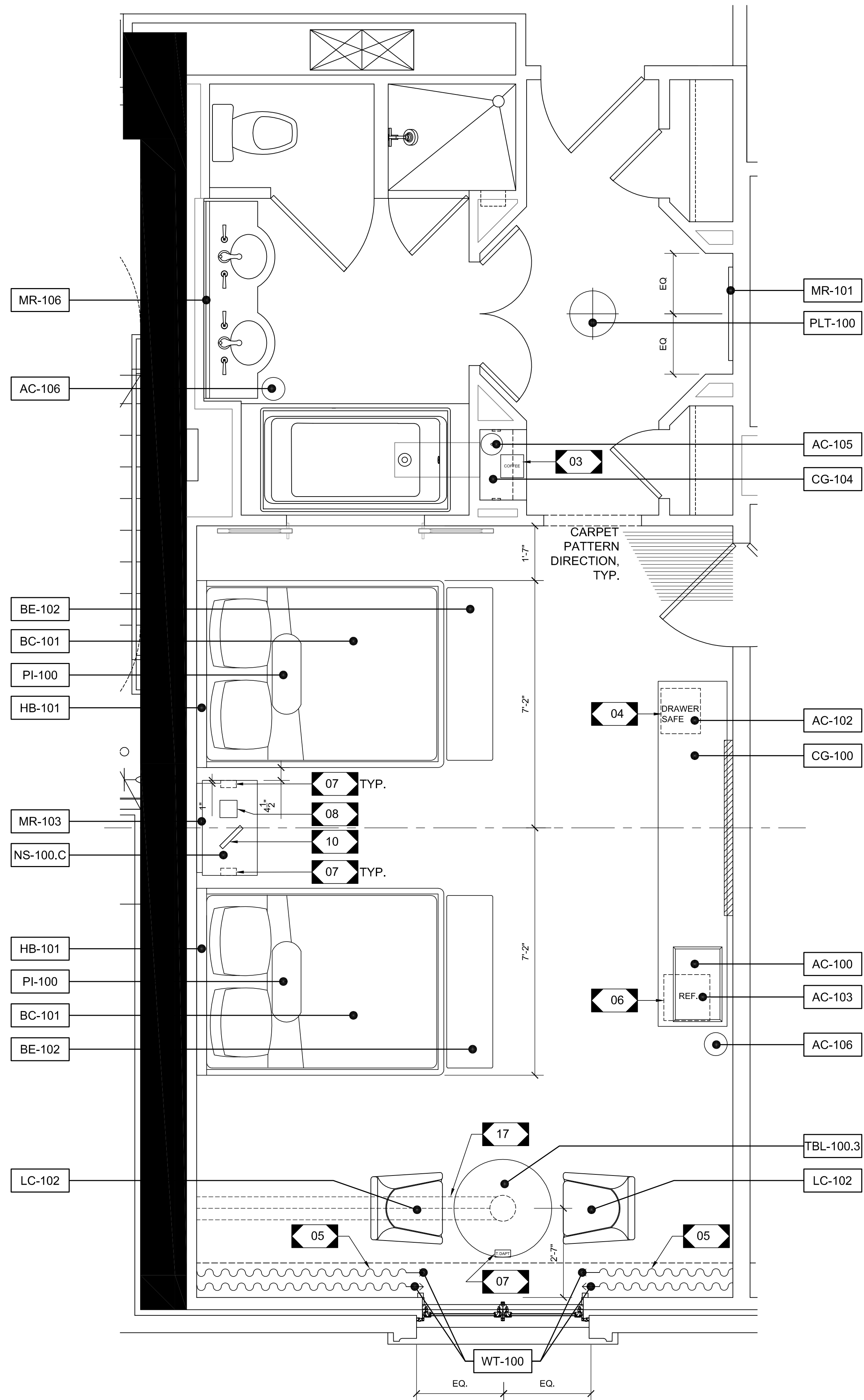
DRAWING TITLE

FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-501A**



FURNITURE PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0"

FF+E KEYNOTES

- 01 -
- 02 -
- 03 - COFFEE MACHINE LOCATION
- 04 - DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 - NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 - NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILLATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 - "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 - PHONE BASE LOCATION
- 09 - PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 - I-PAD DEVICE
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -
- 16 -
- 17 - 'STEELCASE' "THREAD" FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.C. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER. CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
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- 19 -
- 20 -
- 21 -
- 22 -

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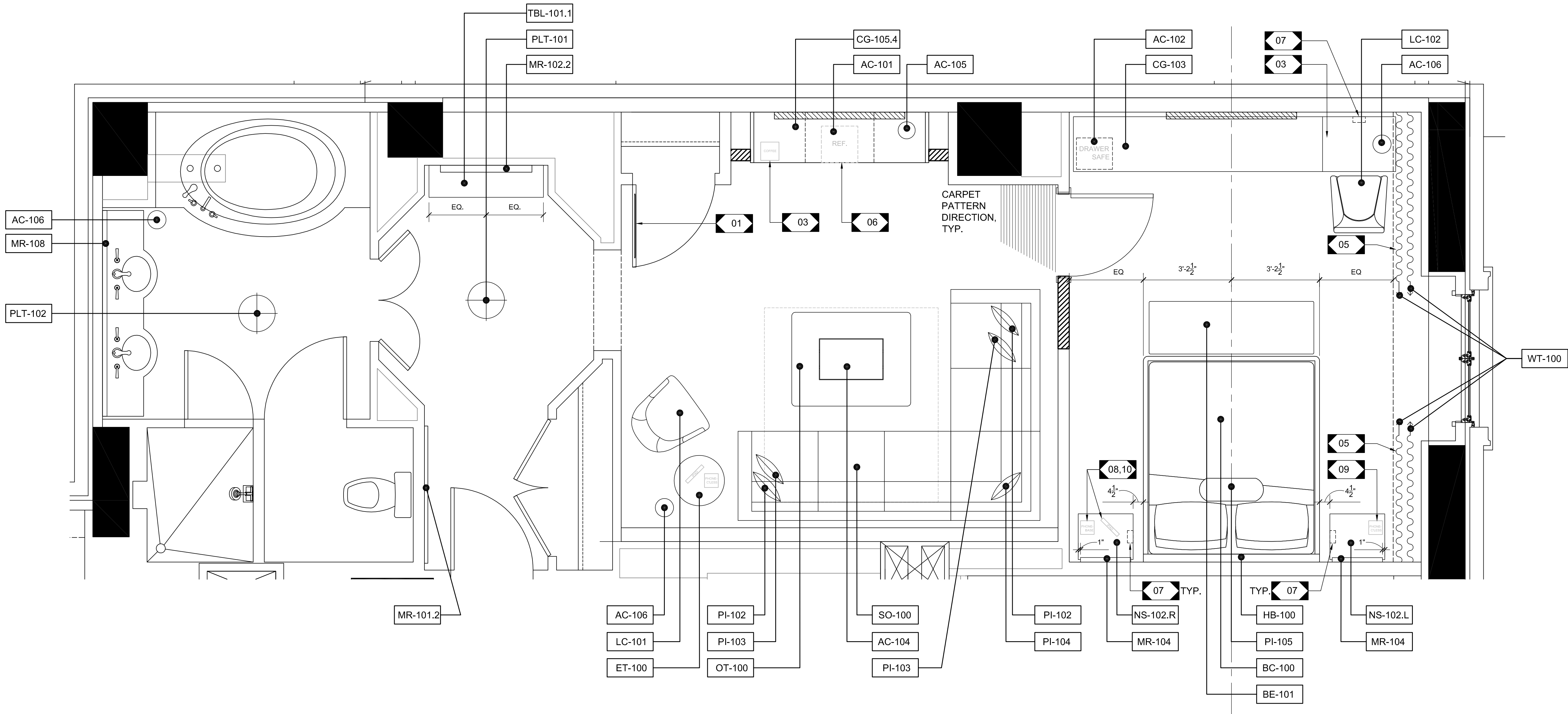
DRAWING TITLE

FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-502A**



FURNITURE PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0"

1

FF+E KEYNOTES

- 01 -
- 02 -
- 03 - COFFEE MACHINE LOCATION
- 04 - DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 - NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
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- 08 - PHONE BASE LOCATION
- 09 - PHONE WIRELESS HANDSET / CHARGING BASE LOCATION

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DRAWING TITLE

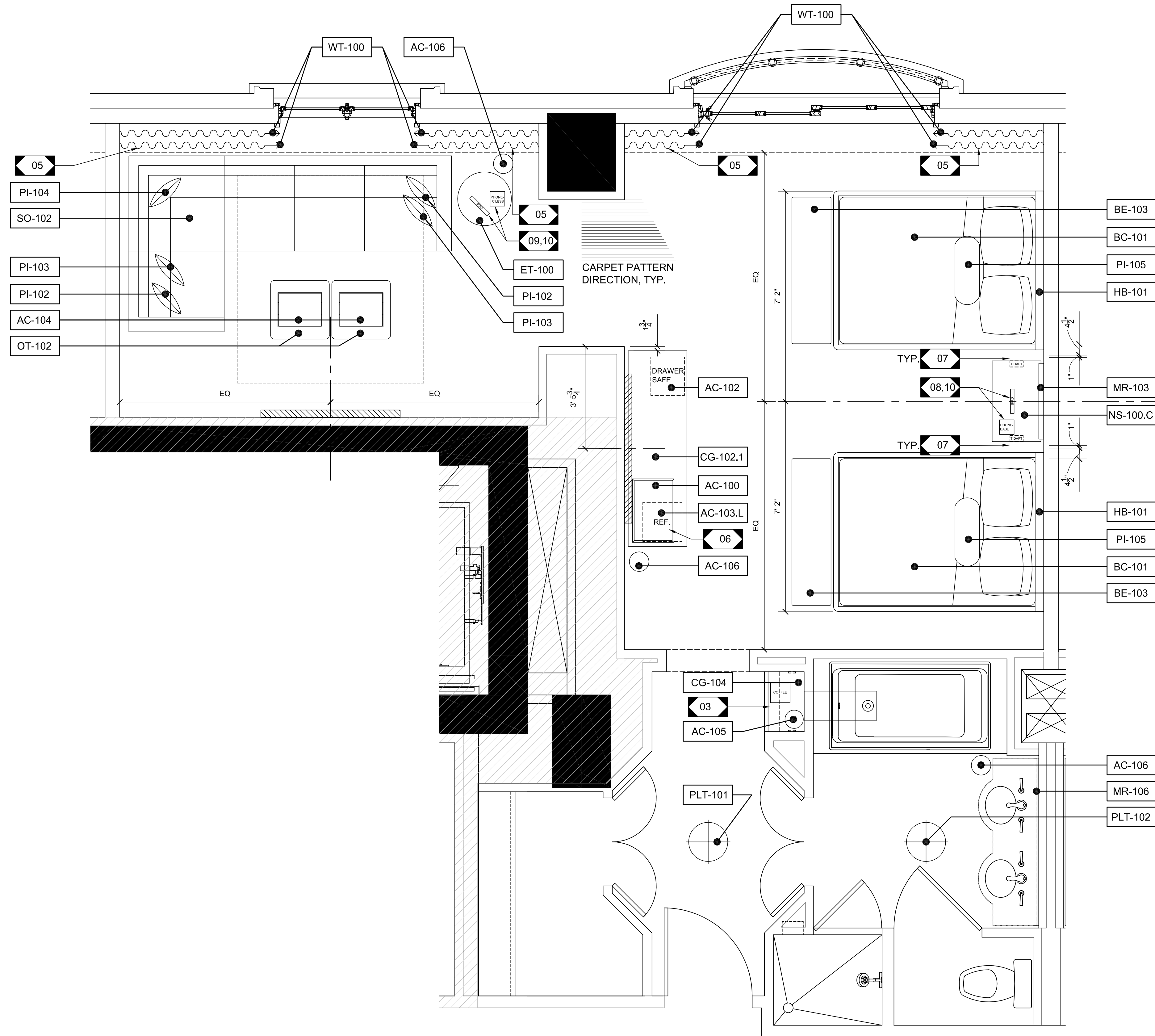
FURNITURE PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-503A**





FF+E KEYNOTES

- 01 -
- 02 -
- 03 - COFFEE MACHINE LOCATION
- 04 - DRAWER SAFE. SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 - NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 - NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 - "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 - PHONE BASE LOCATION
- 09 - PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 - I-PAD DEVICE
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -
- 16 -
- 17 - 'STEELCASE', 'THREAD', FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.G. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

ARCHITECT

Joseph E. Rabun, AIA

ARCHITECT

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS

88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
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FURNITURE PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER

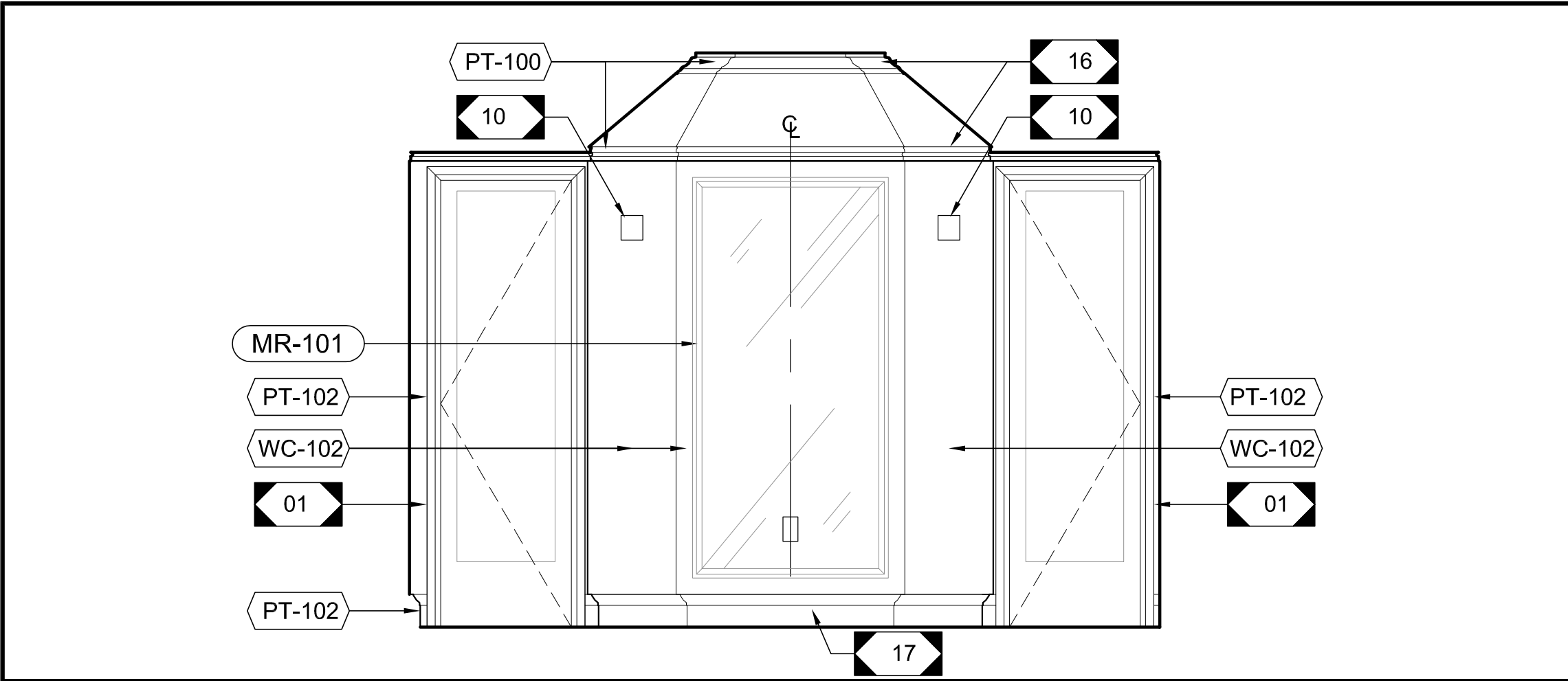
1714.00

DATE

04/16/2018

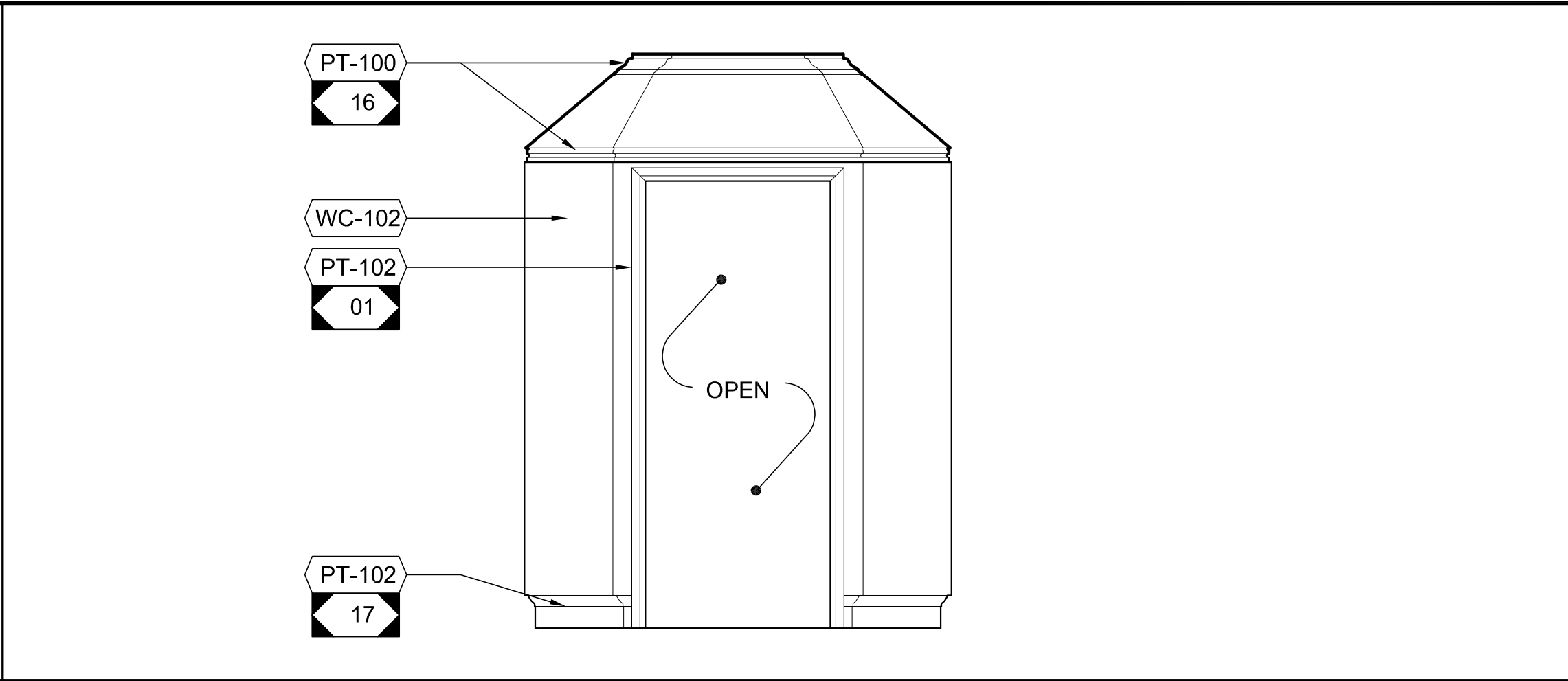
SHEET NUMBER

I-504A



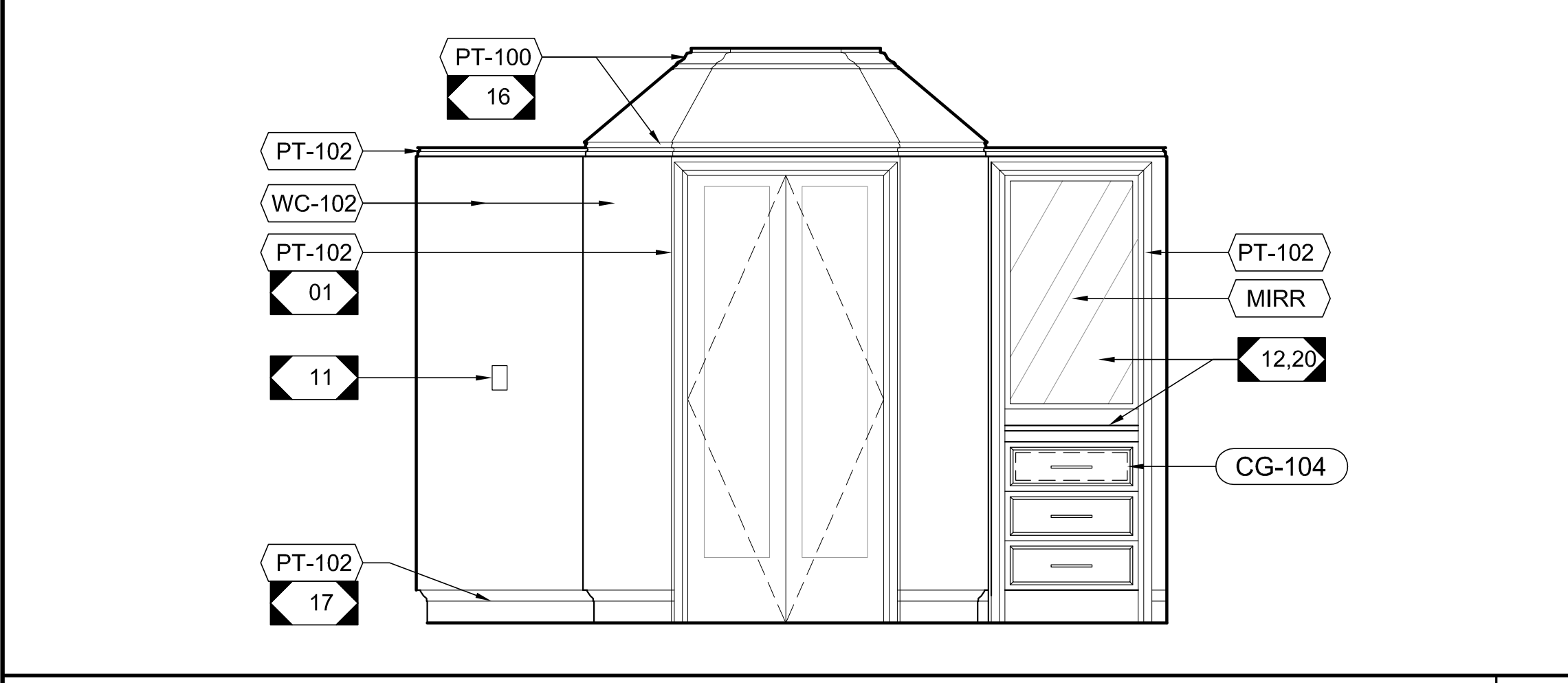
KING ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

1



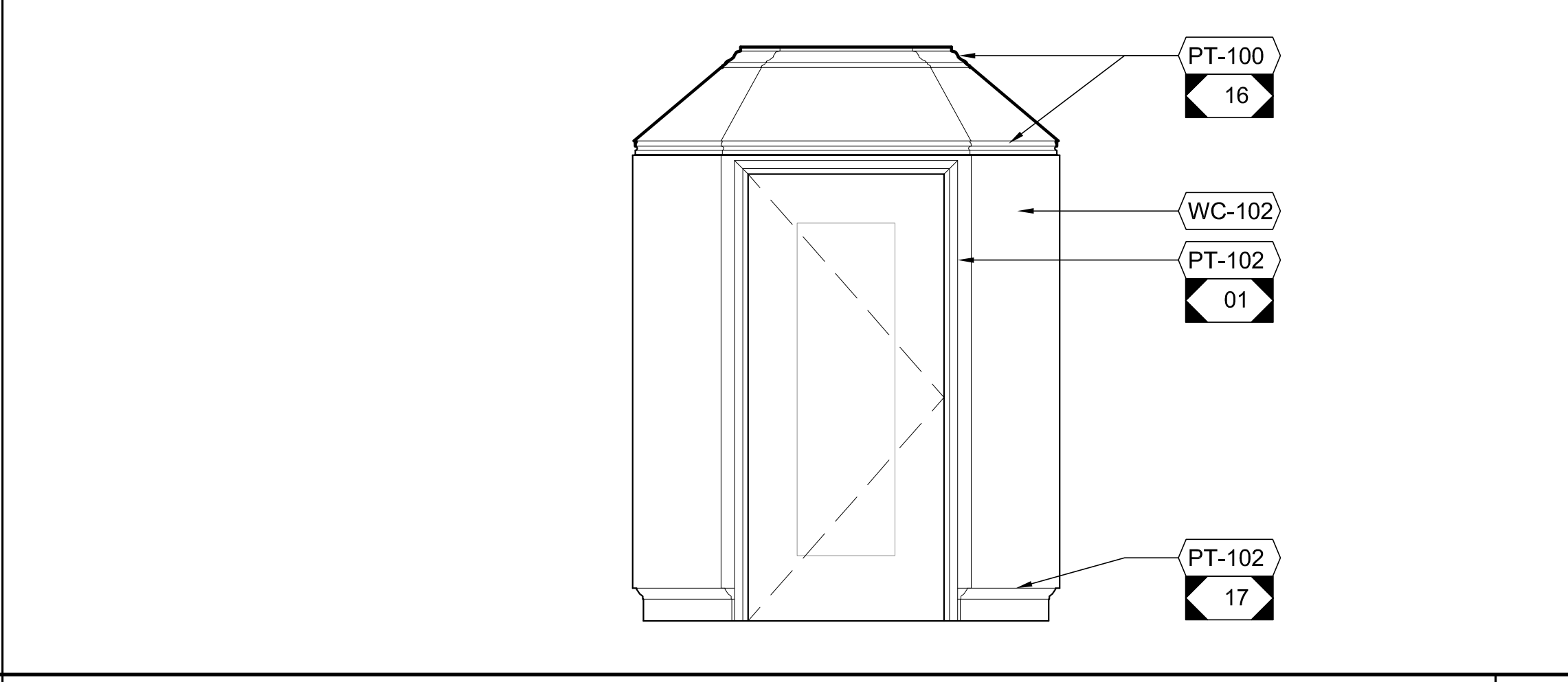
KING ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

2



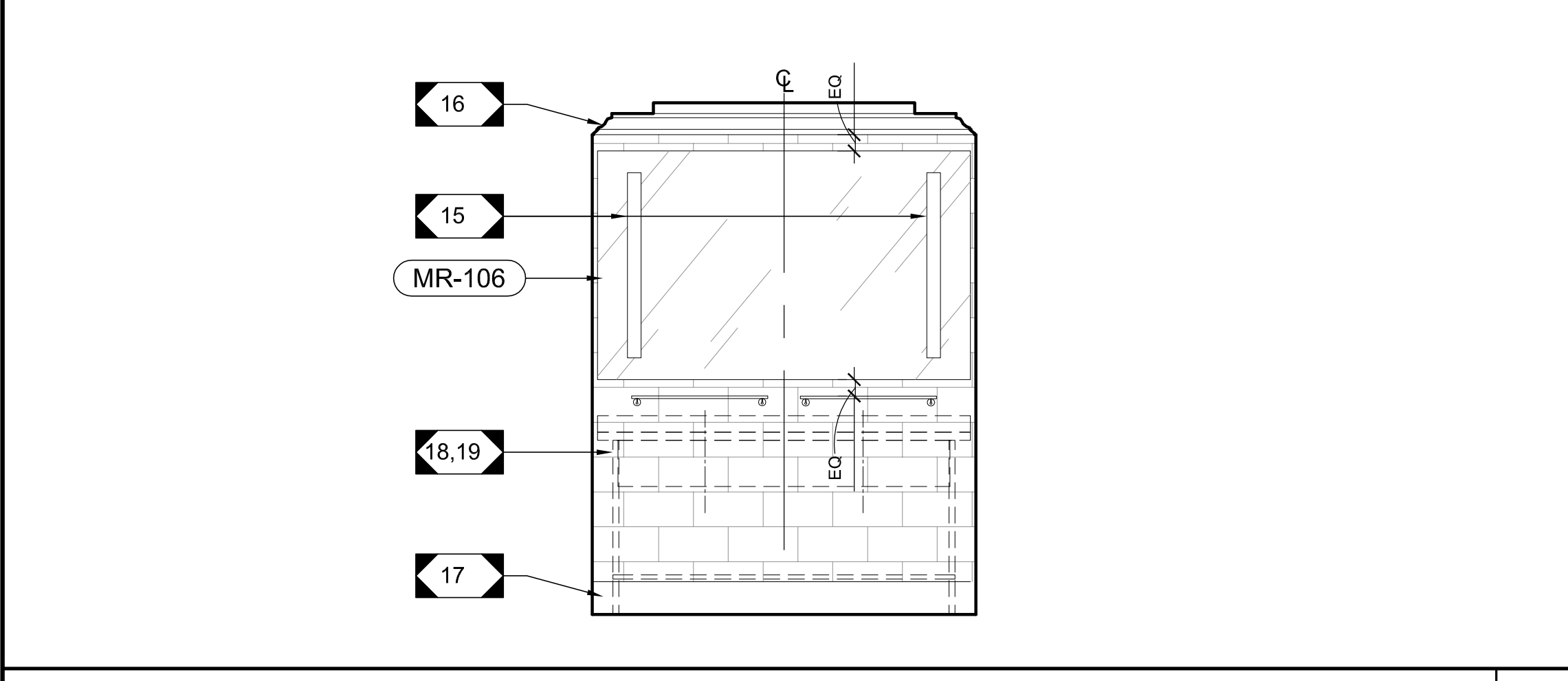
KING ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

3



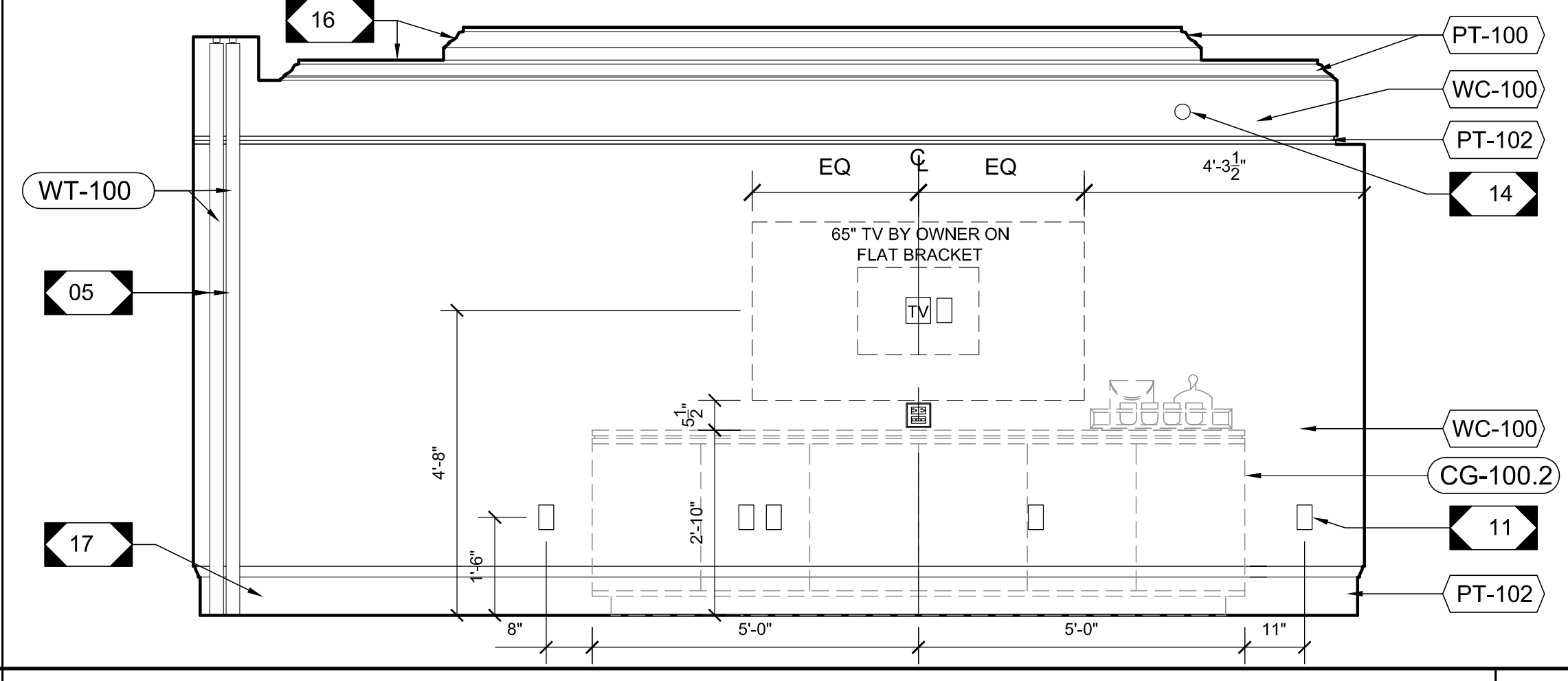
KING ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

4



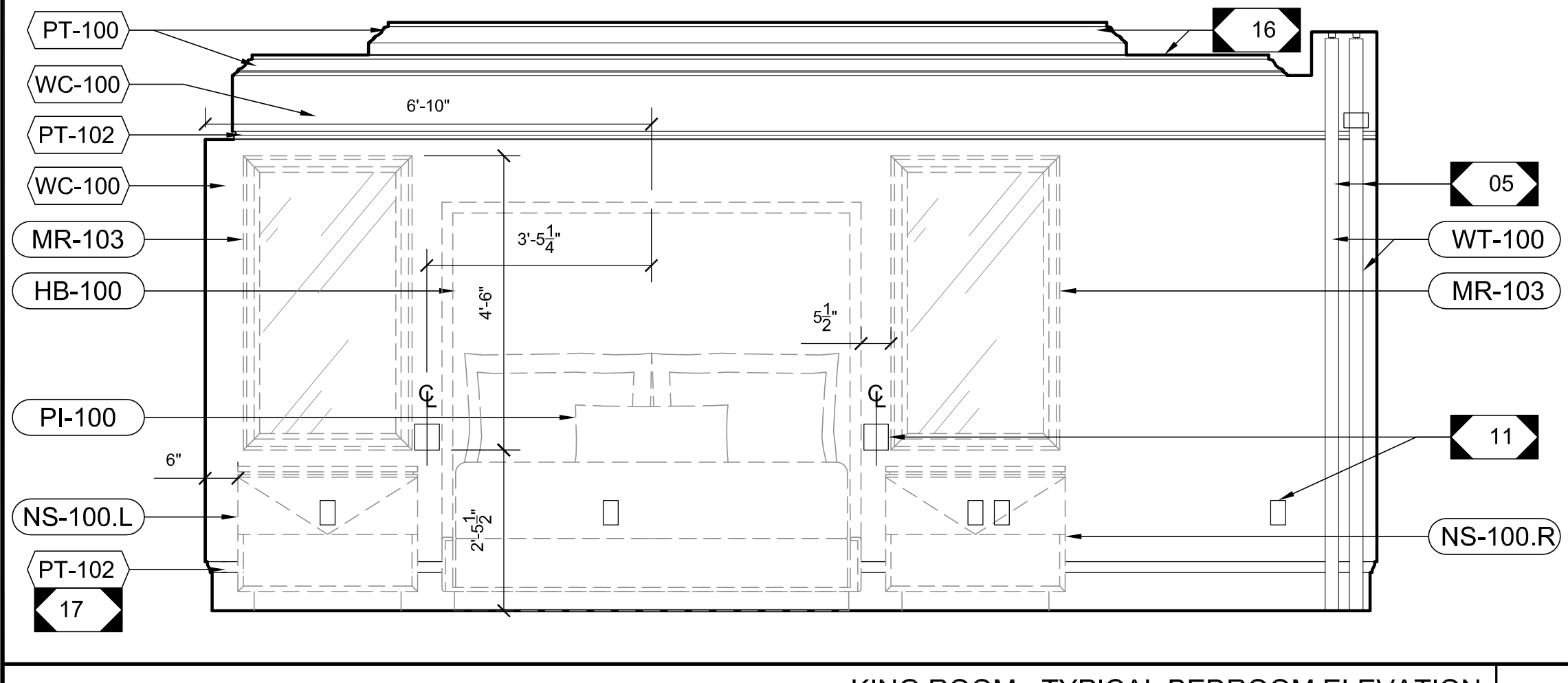
KING ROOM - TYPICAL BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"

5



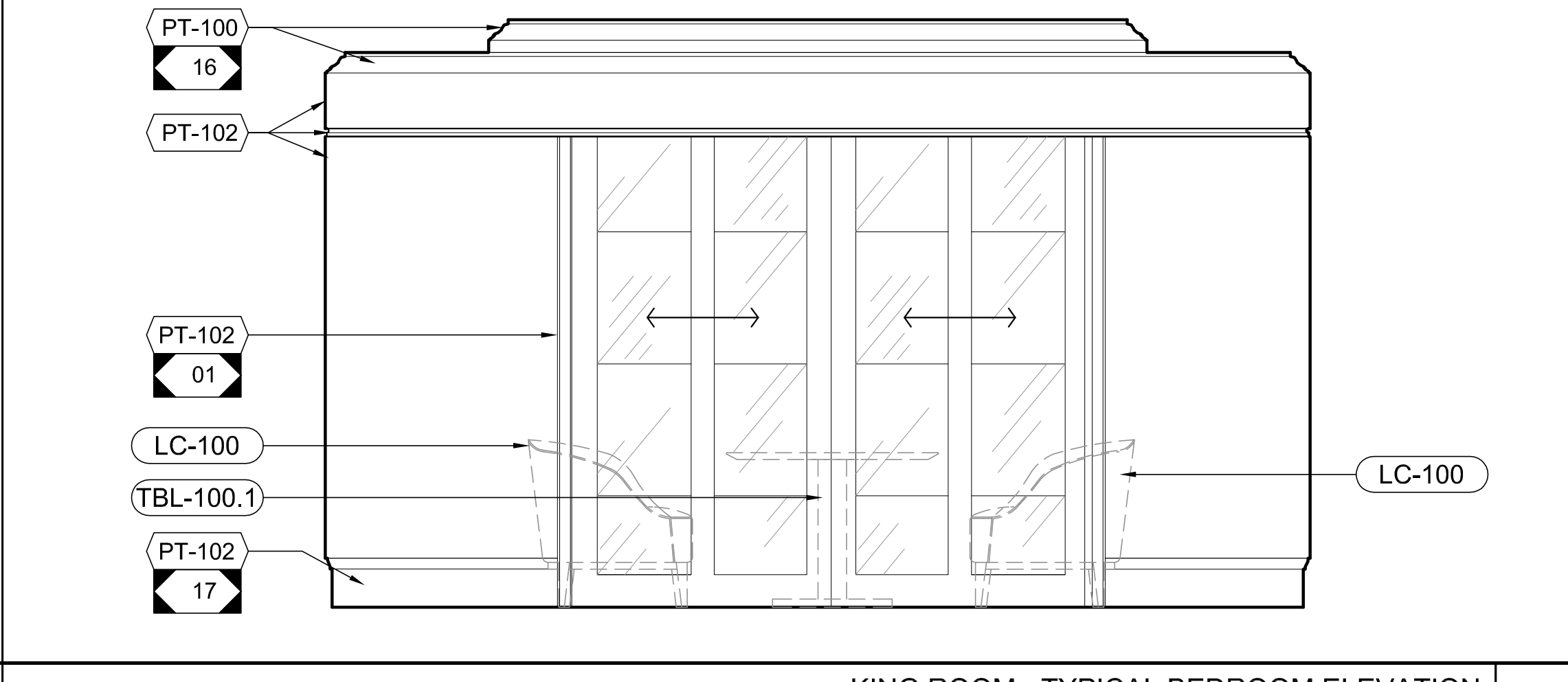
KING ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

6



KING ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

7



KING ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

8

### ELEVATION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- REFER TO FF+E PLANS AND SPECIFICATION FOR ALL FF+E ITEMS. FF+E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
- EXISTING POWER AND/OR DATA PORTS, WINDOWS, SILLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

### ELEVATION KEYNOTES

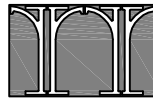
- |    |   |
|----|---|
| 01 | EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.   |
| 02 | EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.  |
| 03 | EXISTING CLOSET SHELF AND ROD   |
| 04 | REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED   |
| 05 | NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.   |
| 06 | NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.  |
| 07 | NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.  |
| 08 | NEW GYPSUM BOARD ON METAL STUD FRAMING.   |
| 09 | NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.  |
| 10 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS   |
| 11 | OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT   |
| 12 | EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL  |
| 13 | EXISTING OUTLET   |
| 14 | EXISTING FIRE STROBE OR SMOKE DETECTOR  |
| 15 | NEW ELECTRIC MIRROR   |
| 16 | EXISTING CROWN MOLDING TO REMAIN; CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.   |
| 17 | EXISTING WOOD OR TILE BASE TO REMAIN; CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION  |
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| 19 | EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.  |
| 20 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS  |
| 21 | NEW BEVELED MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED.  |
| 22 | EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.  |
| 23 | EXISTING WALL MOUNTED PHONE   |
| 24 | AREA OF NEW BASE TO MATCH EXISTING  |
| 25 | RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION |
| 26 | NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.  |
| 27 | NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO   |

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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
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DRAWING TITLE

TYPICAL KING ELEVATIONS

PROJECT NUMBER

1714.00

DATE

04/16/2018

SHEET NUMBER

I-600

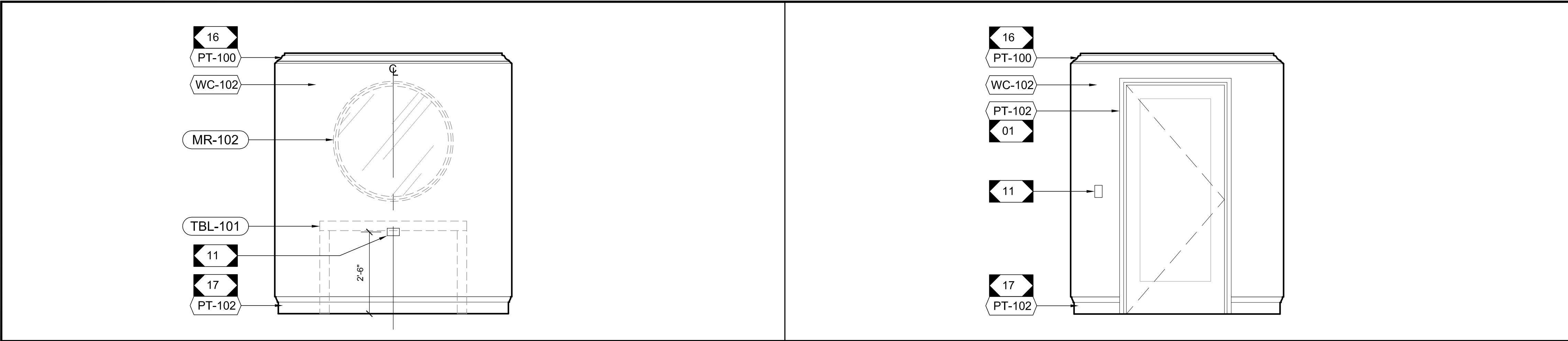




ST. REGIS GUESTROOM RENOVATIONS

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

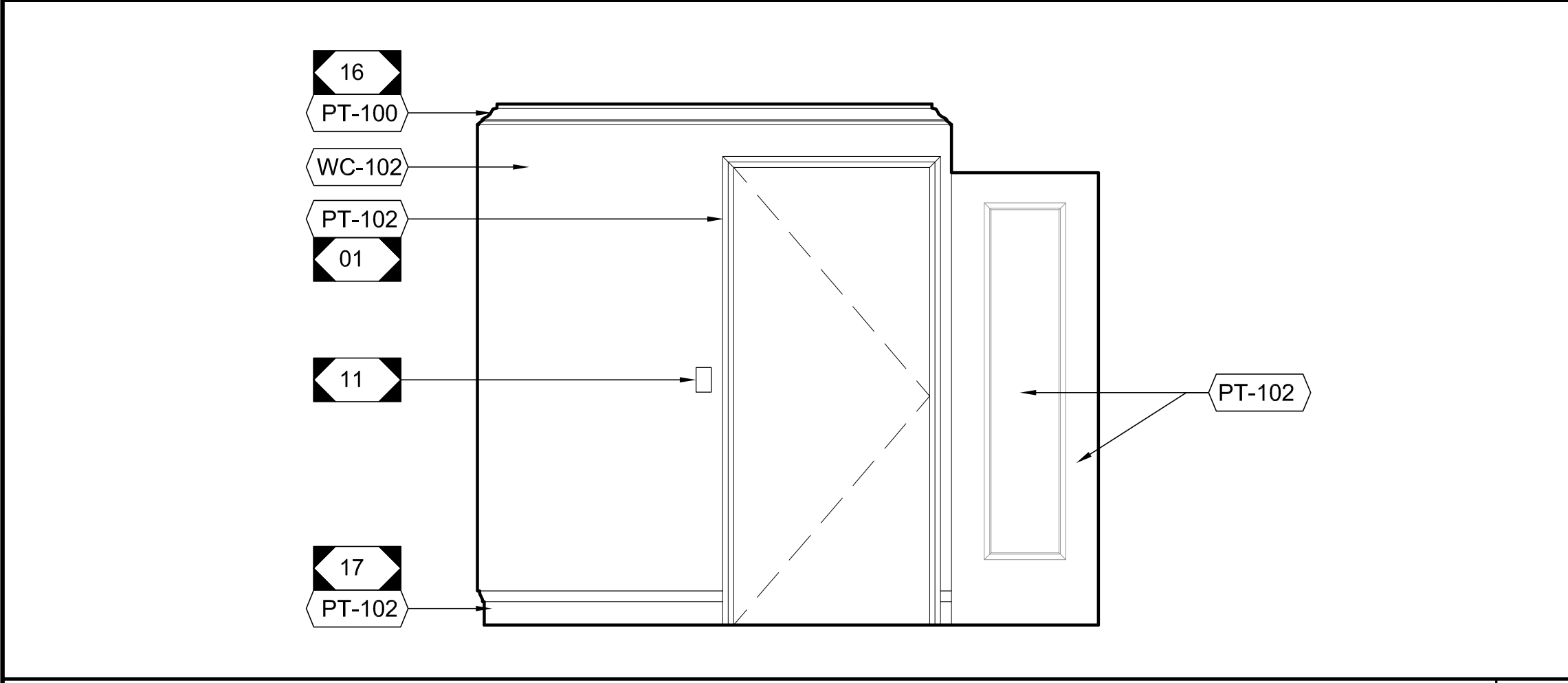


SUITE ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

1

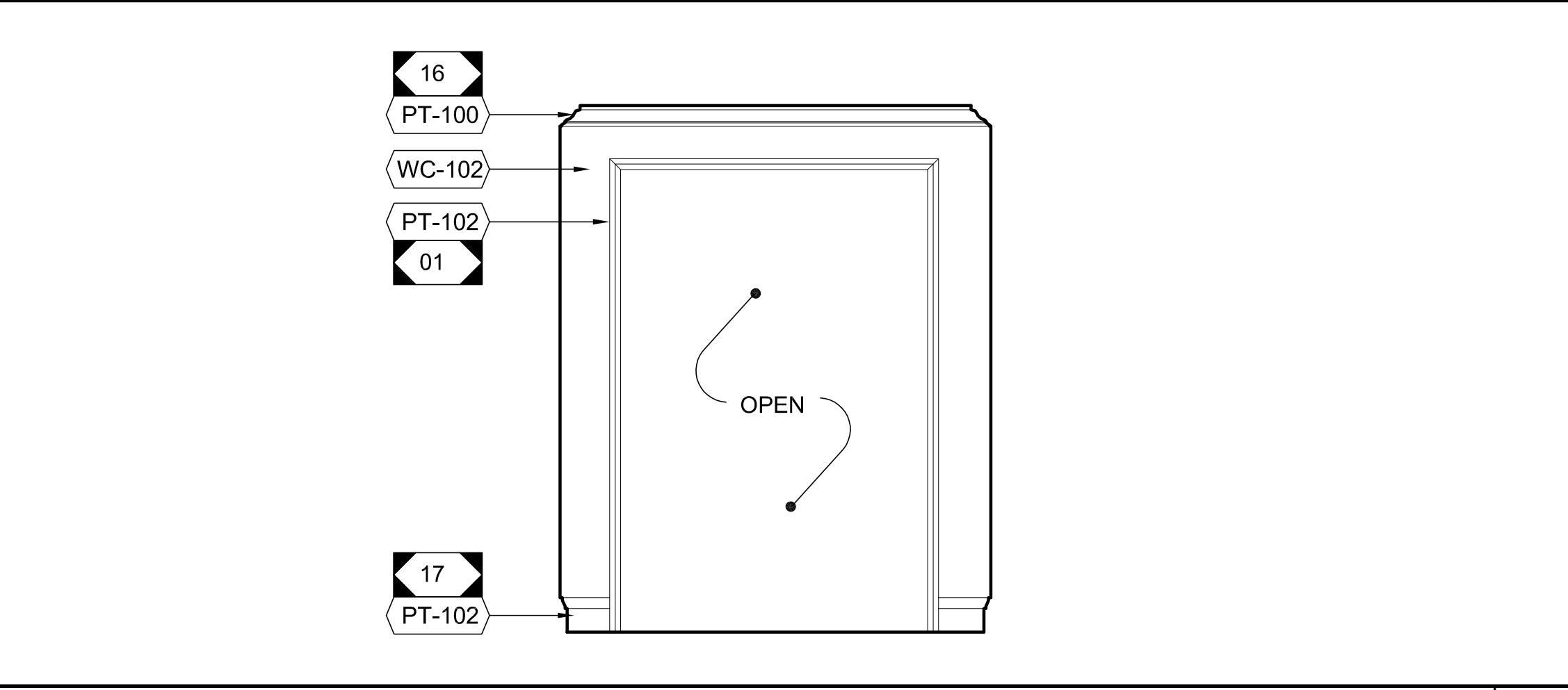
SUITE ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

2



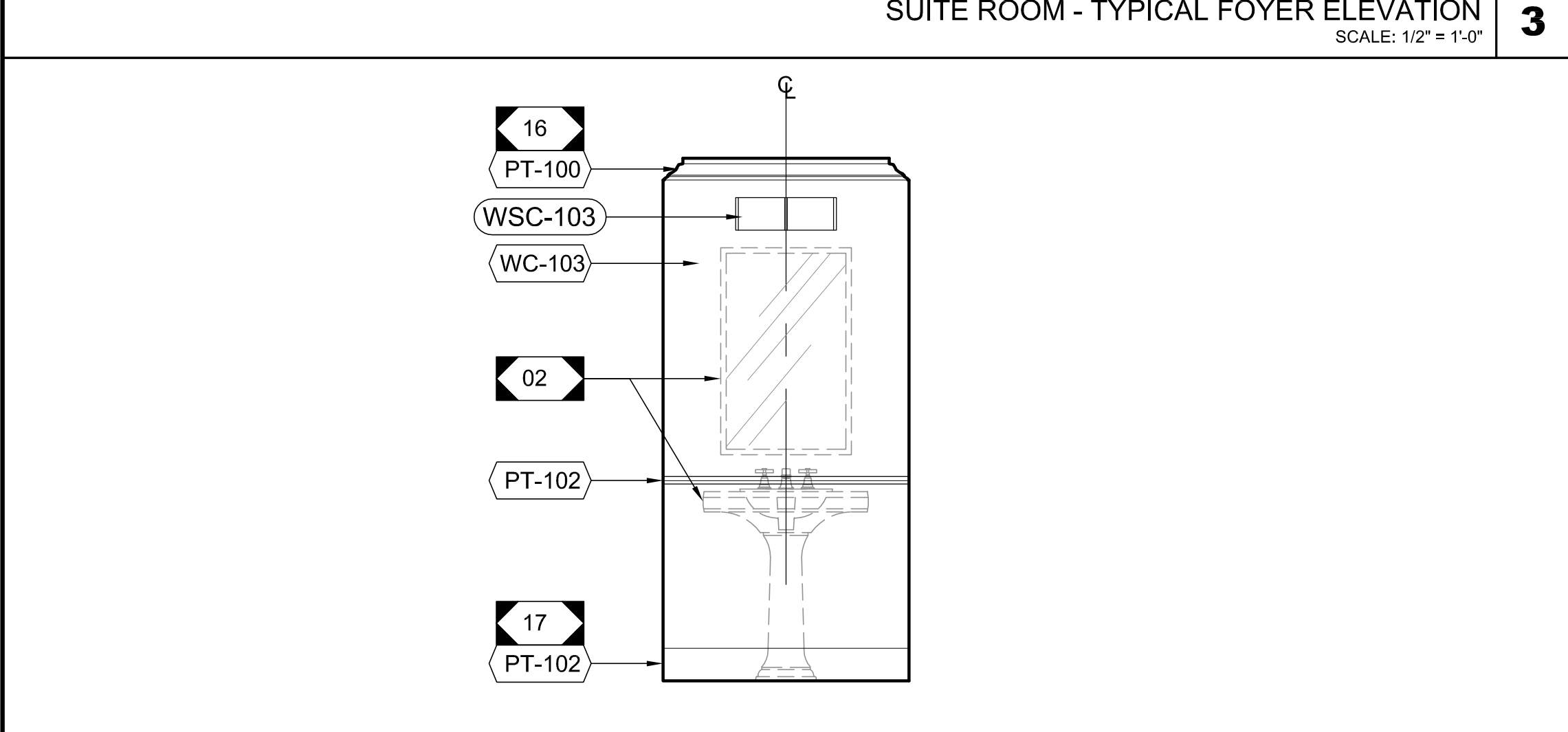
SUITE ROOM - TYPICAL FOYER ELEVATION  
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3



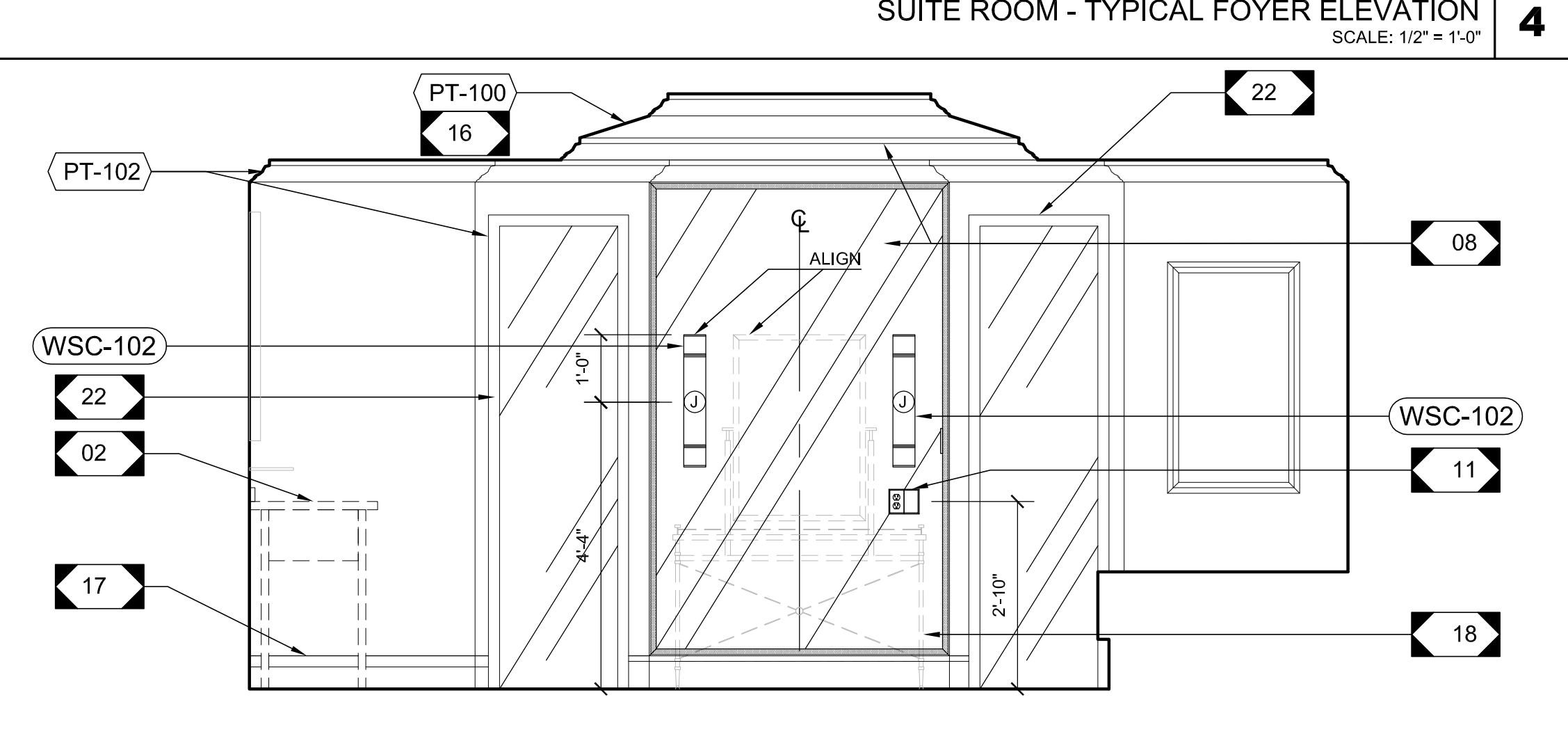
SUITE ROOM - TYPICAL FOYER ELEVATION  
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4



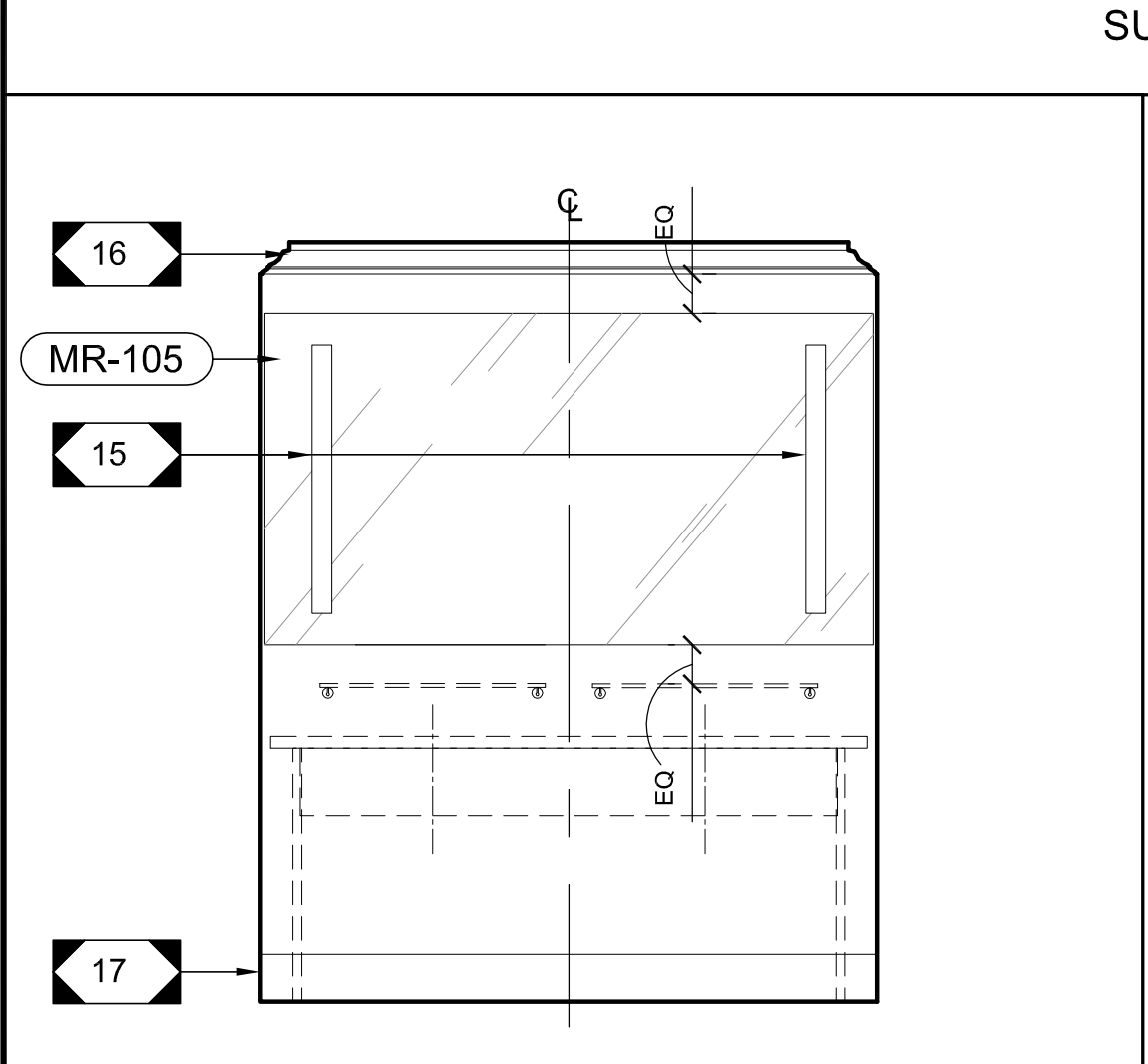
SUITE ROOM - TYPICAL POWDER ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

5



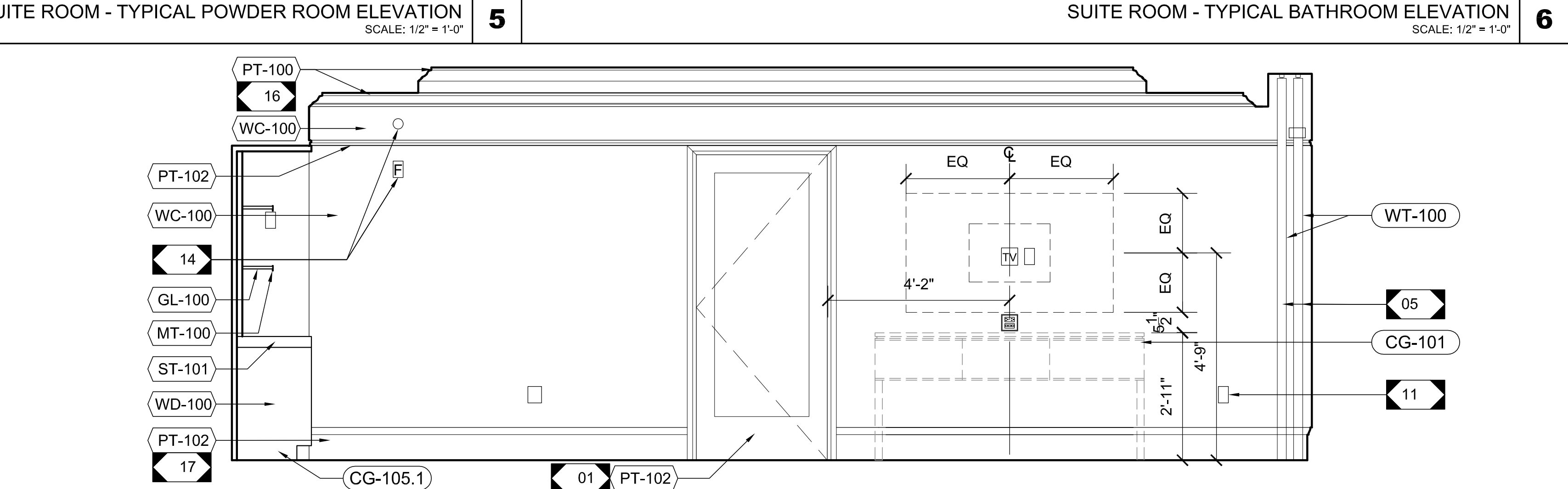
SUITE ROOM - TYPICAL BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"

6



SUITE ROOM - TYPICAL BATHROOM ELEVATION  
SCALE: 1/2" = 1'-0"

7



SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
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8

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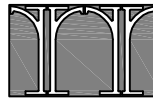
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REVISIONS

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DRAWING TITLE

TYPICAL KING SUITE  
ELEVATIONS

PROJECT NUMBER

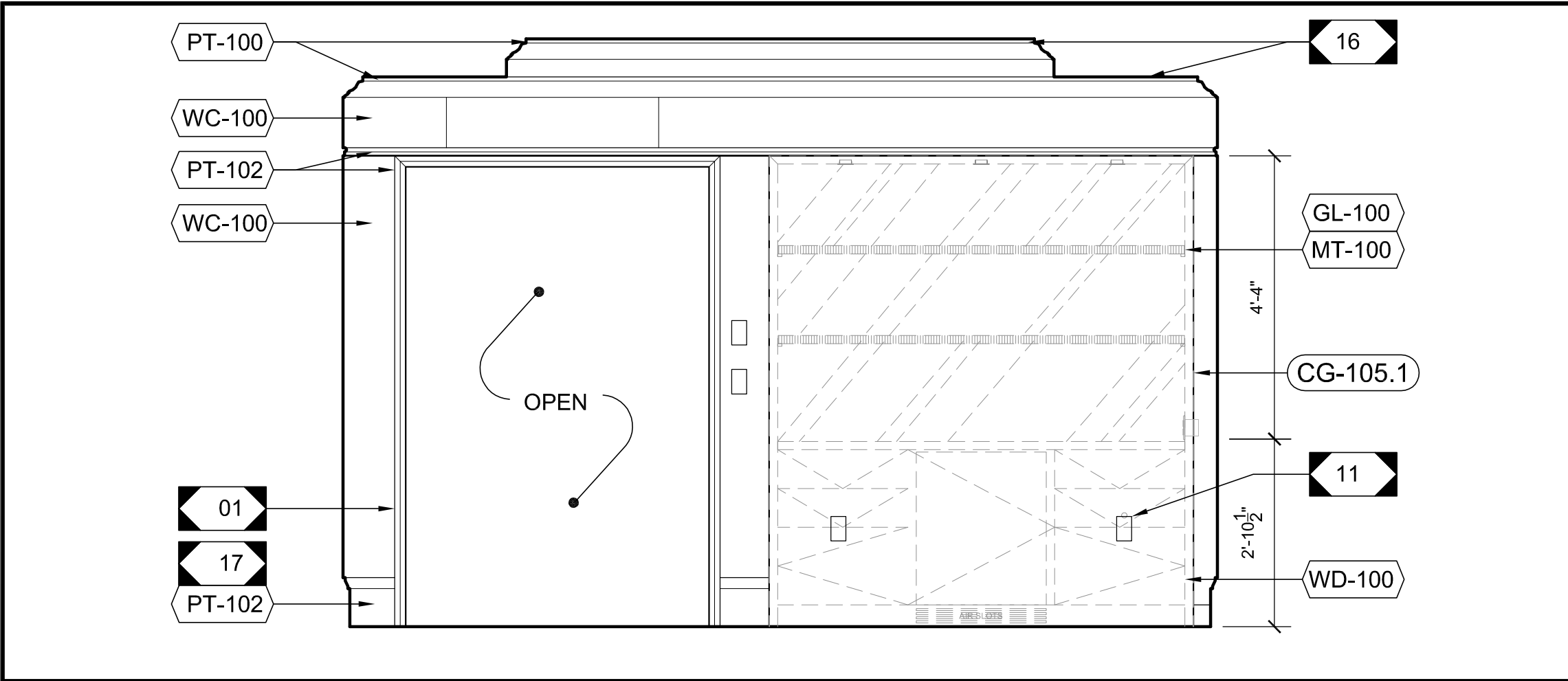
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DATE

04/16/2018

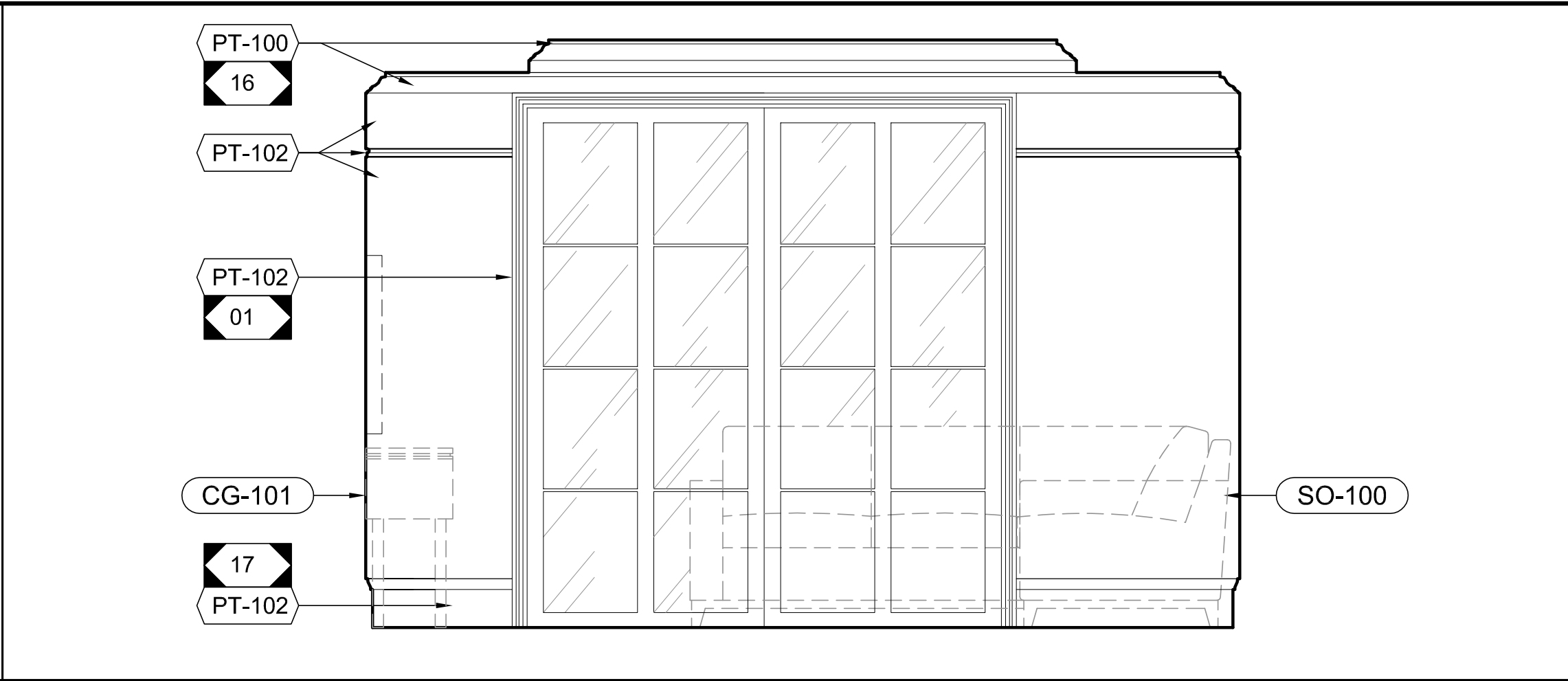
SHEET NUMBER

I-602



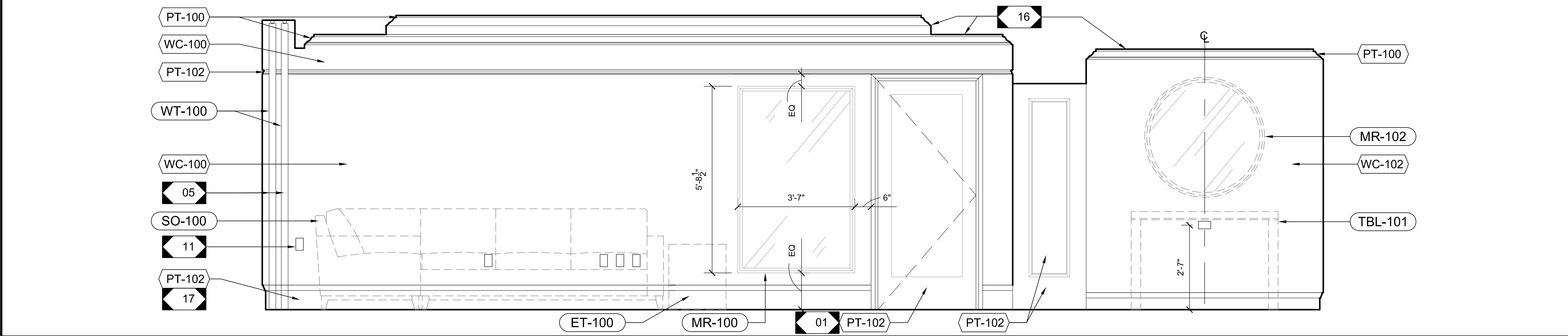
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

1



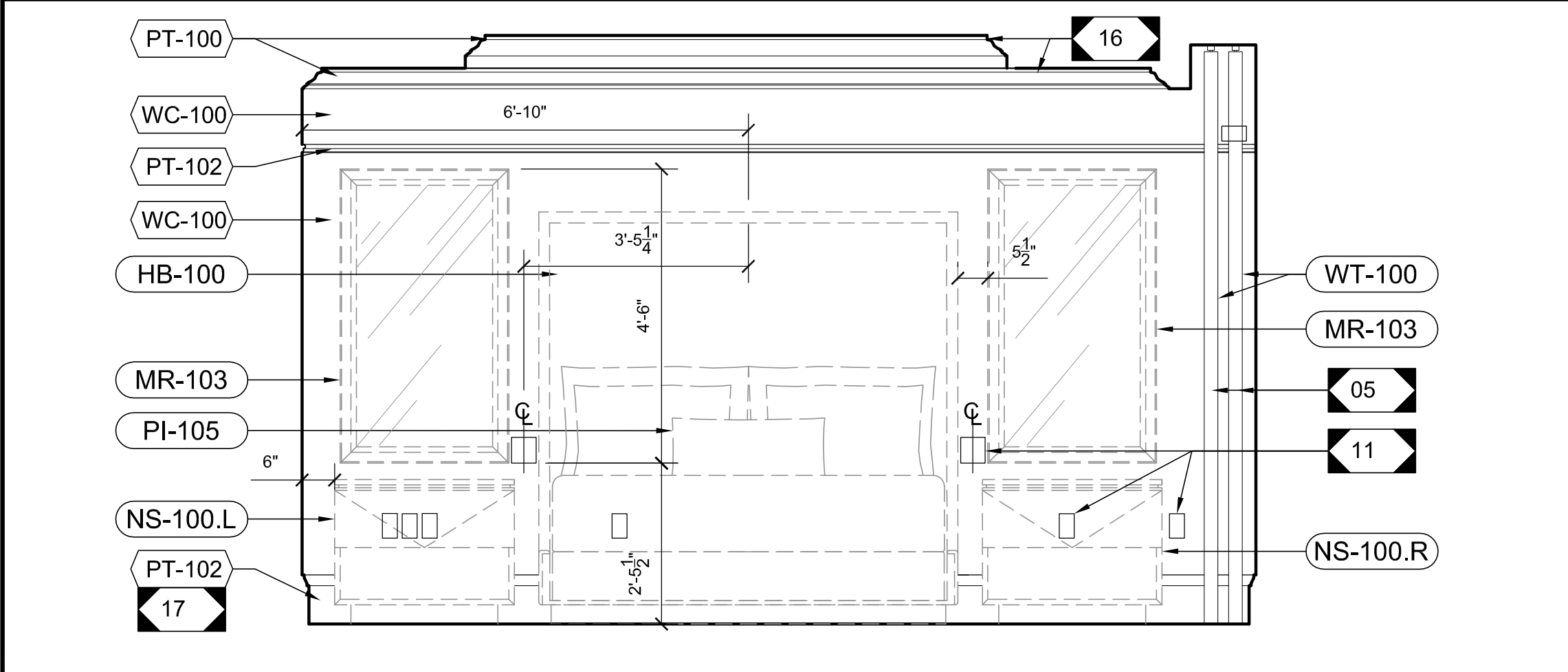
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

2



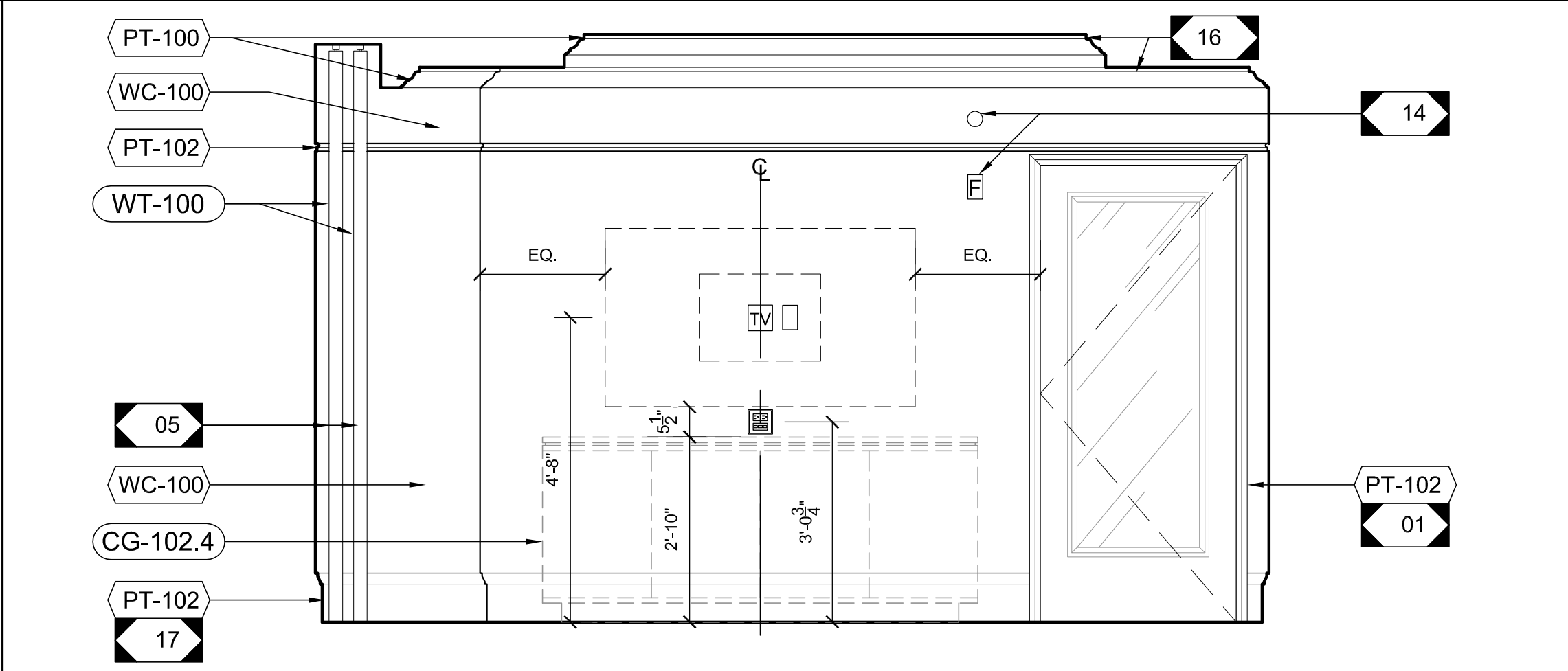
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

3



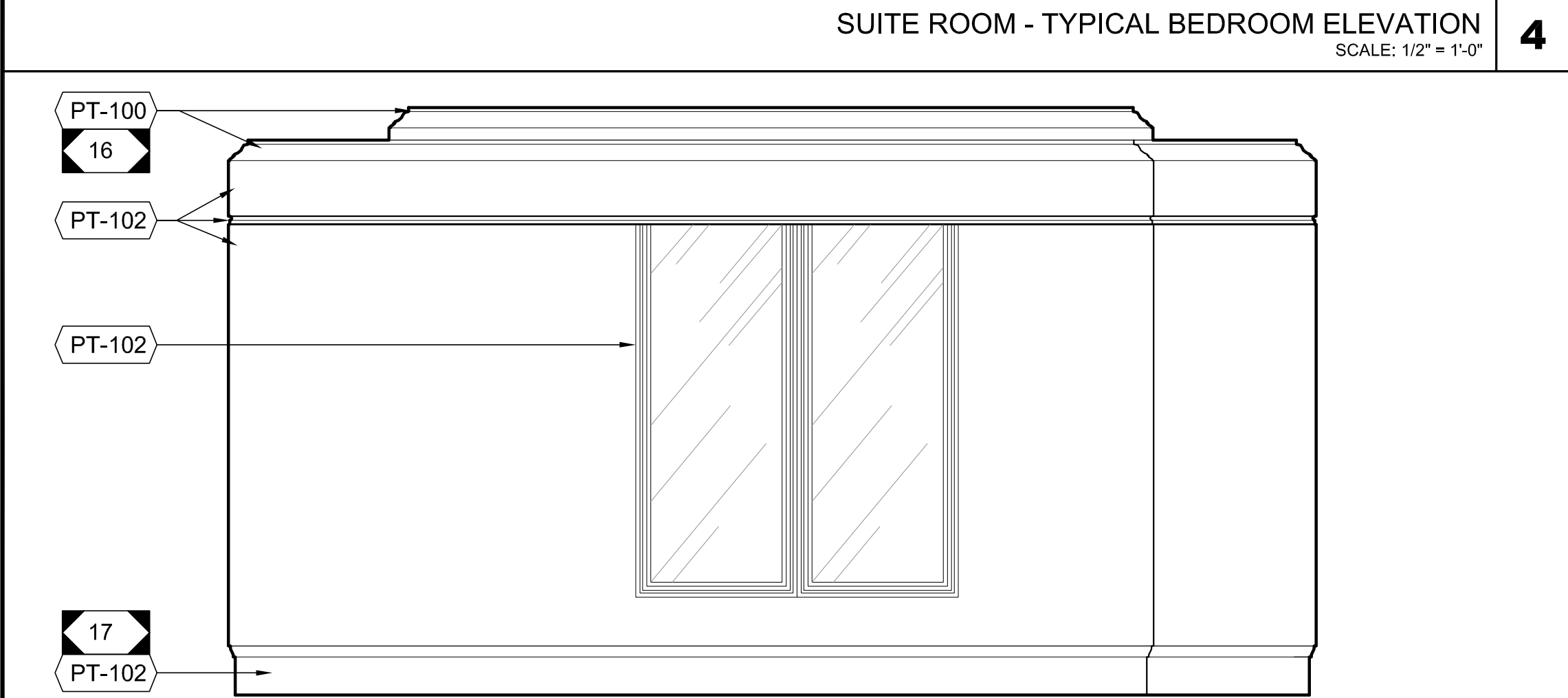
SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

4



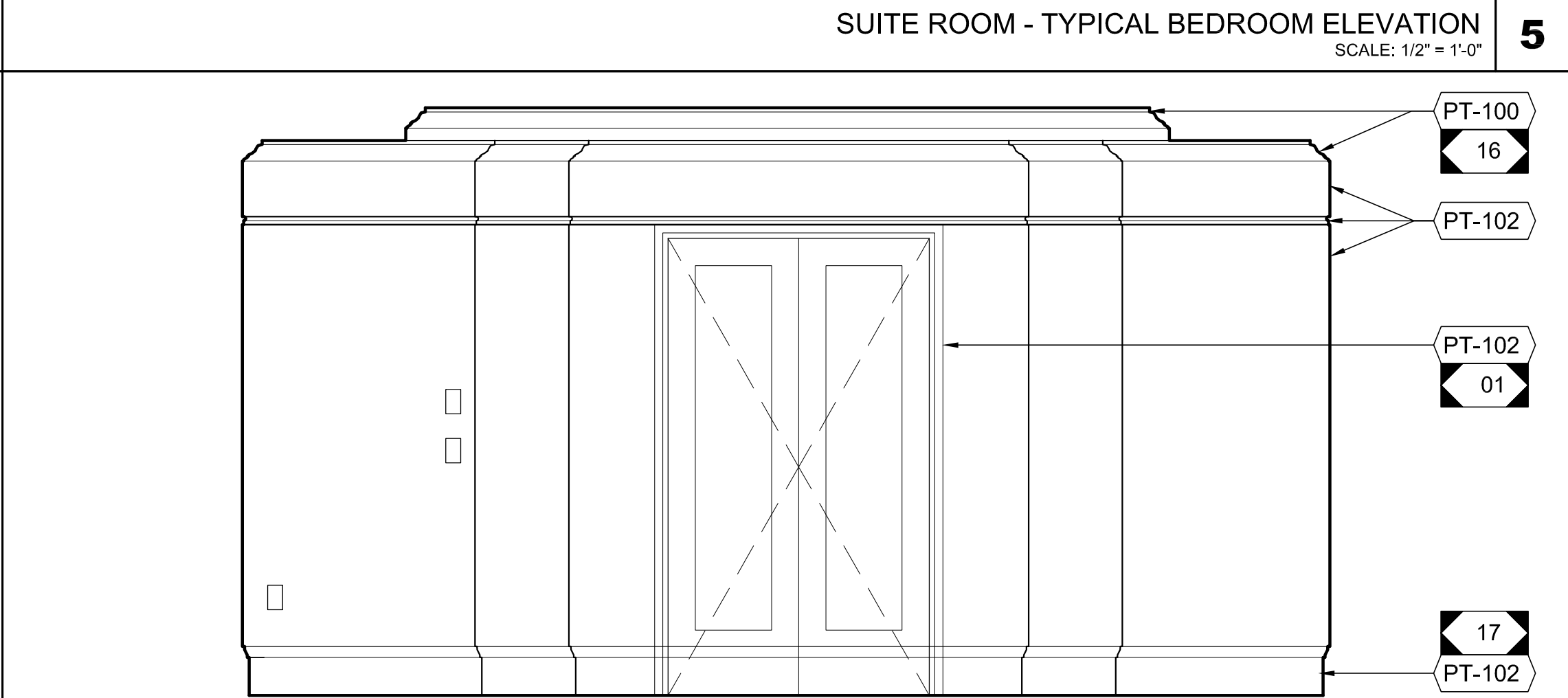
SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

5



SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

6



SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

7

### ELEVATION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- REFER TO FF+E PLANS AND SPECIFICATION FOR ALL FF+E ITEMS. FF+E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
- EXISTING POWER AND/OR DATA PORTS, WINDOWS, SILLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

### ELEVATION KEYNOTES

- |    |   |
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| 01 | EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.   |
| 02 | EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.  |
| 03 | EXISTING CLOSET SHELF AND ROD   |
| 04 | REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED   |
| 05 | NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.   |
| 06 | NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.  |
| 07 | NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.  |
| 08 | NEW GYPSUM BOARD ON METAL STUD FRAMING.   |
| 09 | NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.  |
| 10 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCENCE LIGHTS   |
| 11 | OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT   |
| 12 | EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL.   |
| 13 | EXISTING OUTLET   |
| 14 | EXISTING FIRE STROBE OR SMOKE DETECTOR  |
| 15 | NEW ELECTRIC MIRROR   |
| 16 | EXISTING CROWN MOLDING TO REMAIN; CLEAN AND REFURBISH. PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.  |
| 17 | EXISTING WOOD OR TILE BASE TO REMAIN; CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.   |
| 18 | EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.   |
| 19 | EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.  |
| 20 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS  |
| 21 | NEW BEVELED MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED.  |
| 22 | EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.  |
| 23 | EXISTING WALL MOUNTED PHONE   |
| 24 | AREA OF NEW BASE TO MATCH EXISTING  |
| 25 | RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION |
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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE

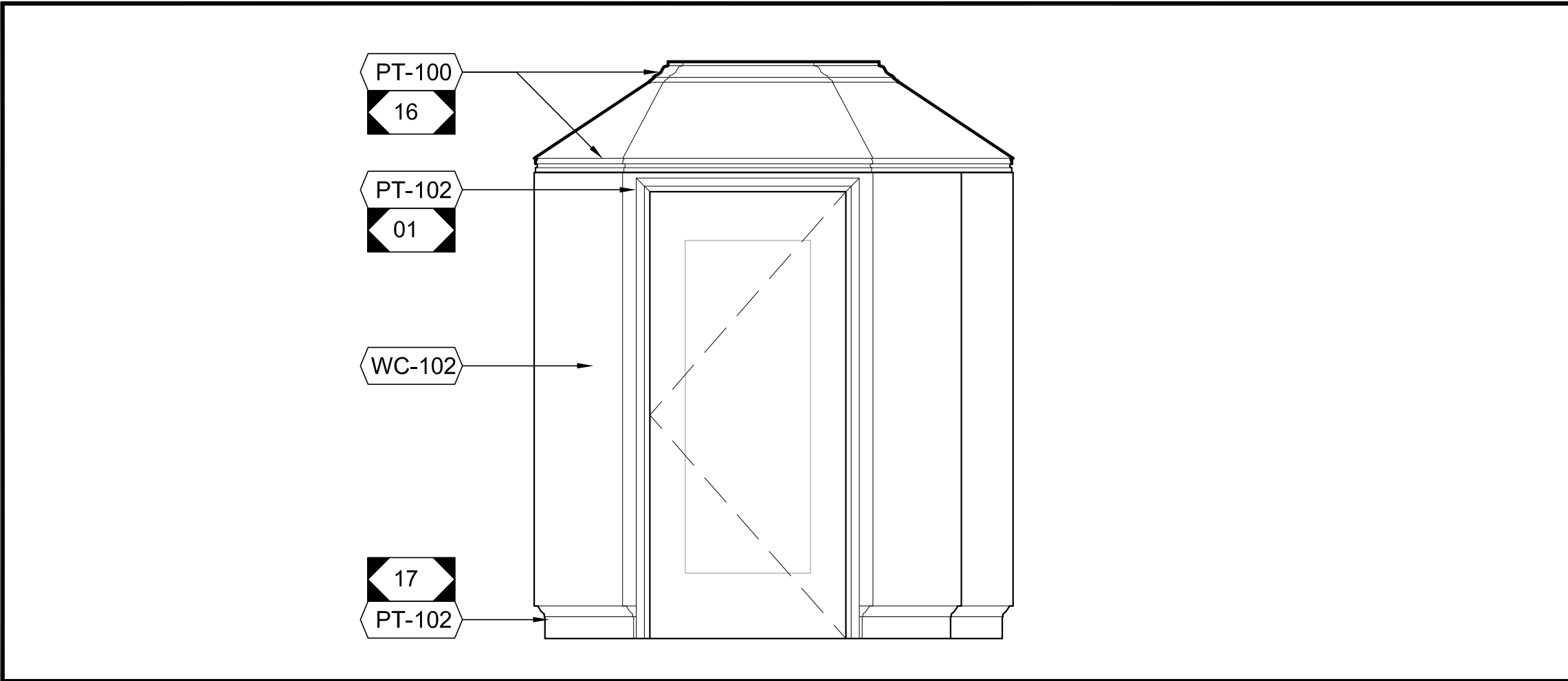
TYPICAL KING SUITE  
ELEVATIONS

PROJECT NUMBER 1714.00

DATE 04/16/2018

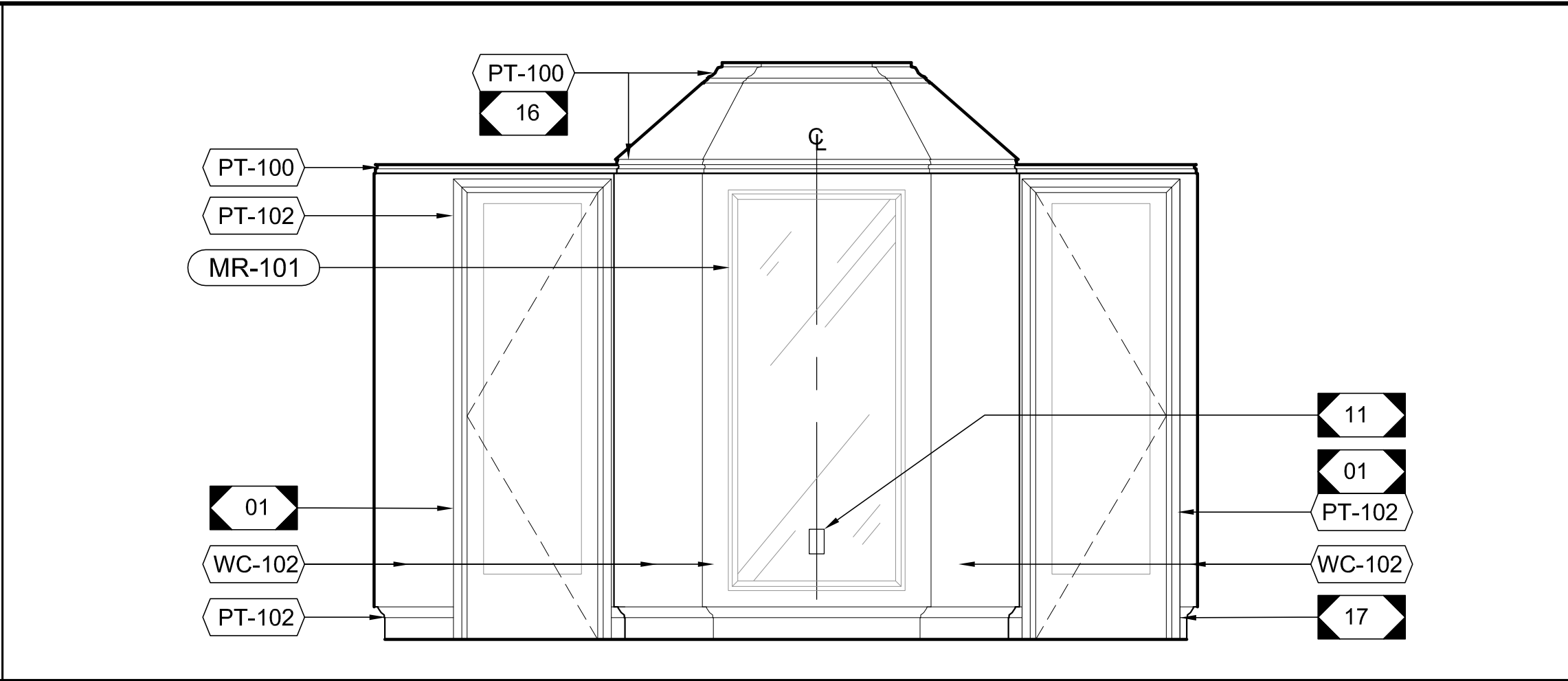
SHEET NUMBER I-603





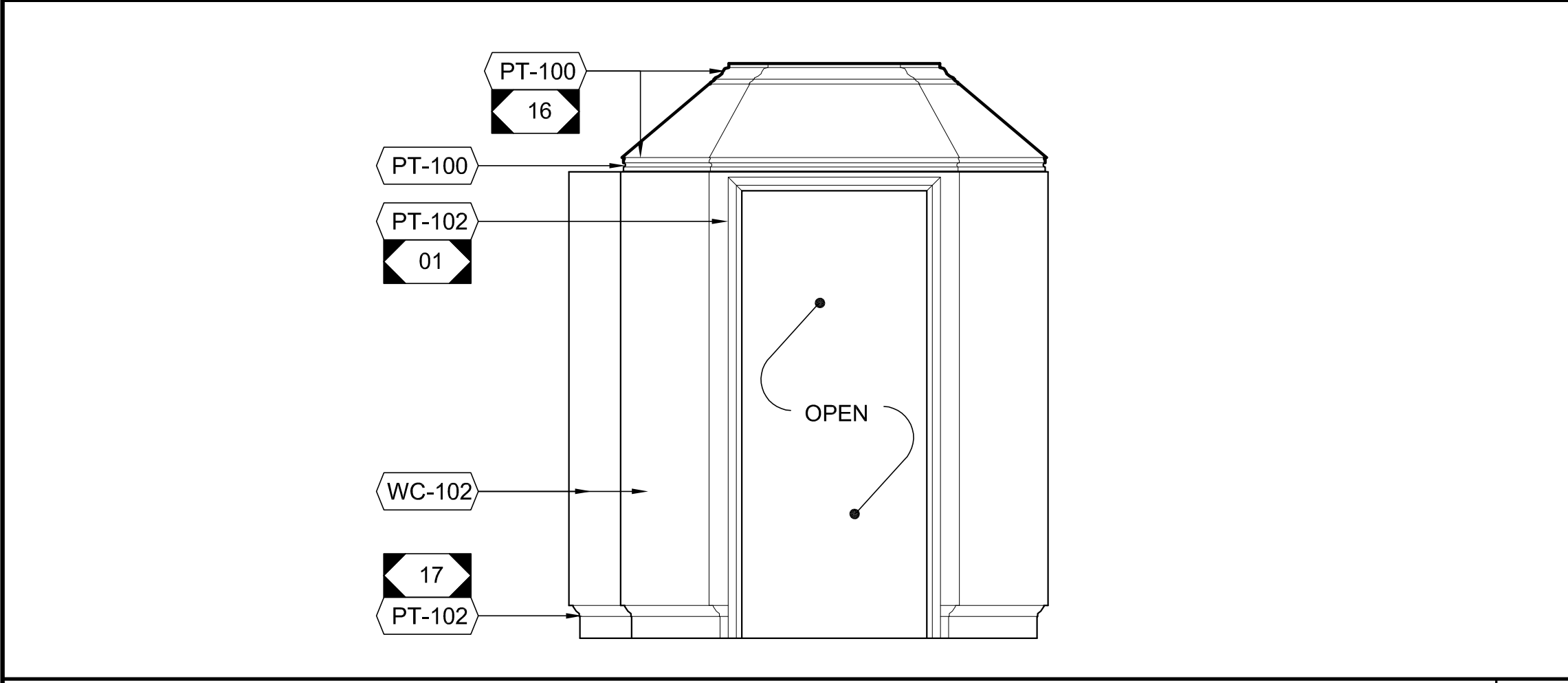
DOUBLE QUEEN ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

1



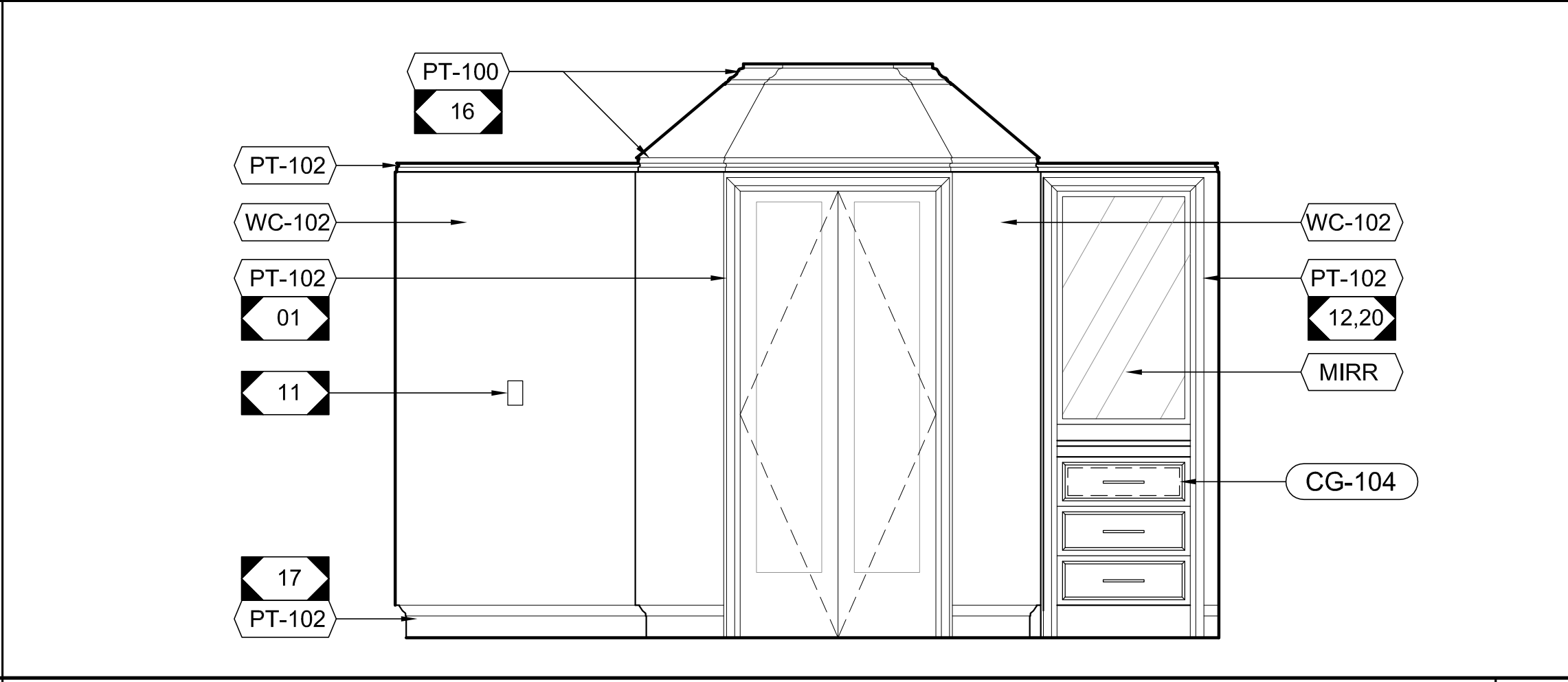
DOUBLE QUEEN ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

2



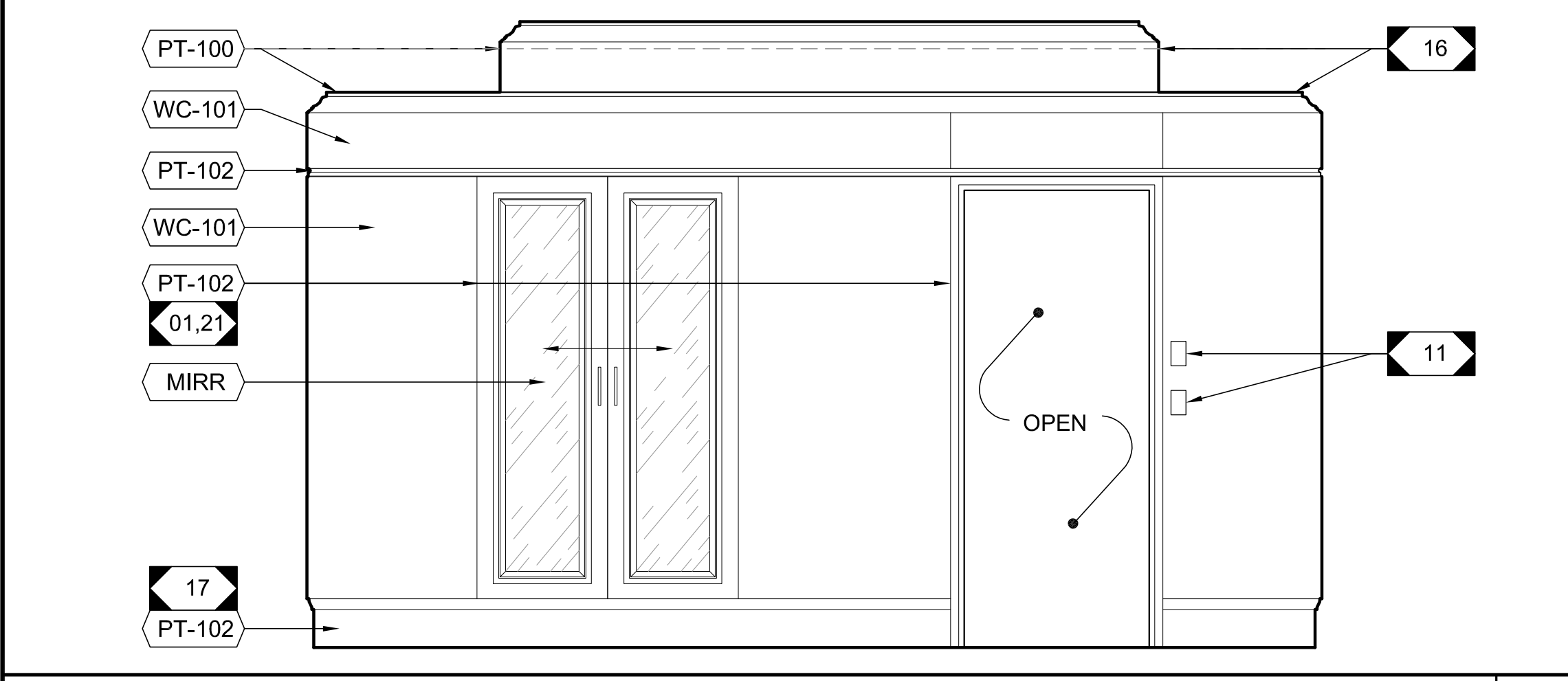
DOUBLE QUEEN ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

3



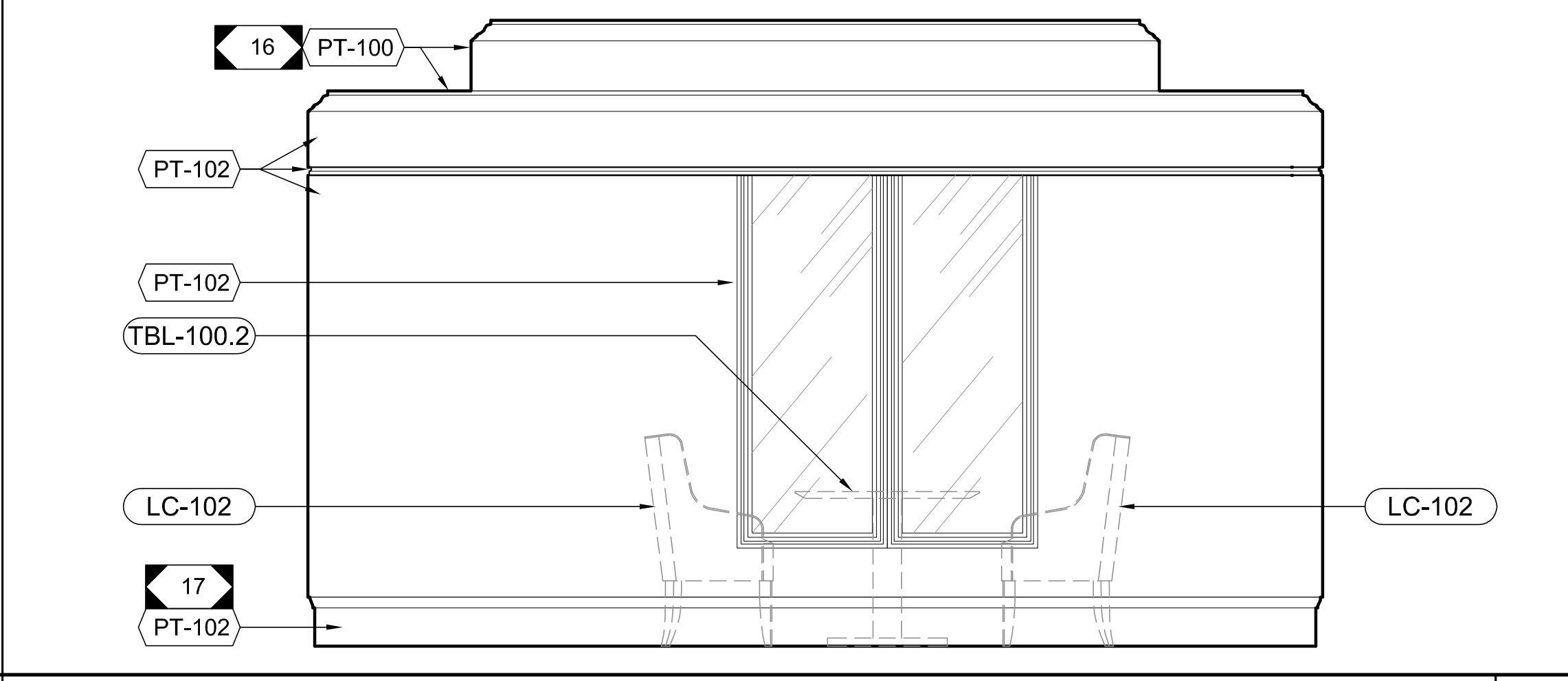
DOUBLE QUEEN ROOM - TYPICAL FOYER ELEVATION  
SCALE: 1/2" = 1'-0"

4



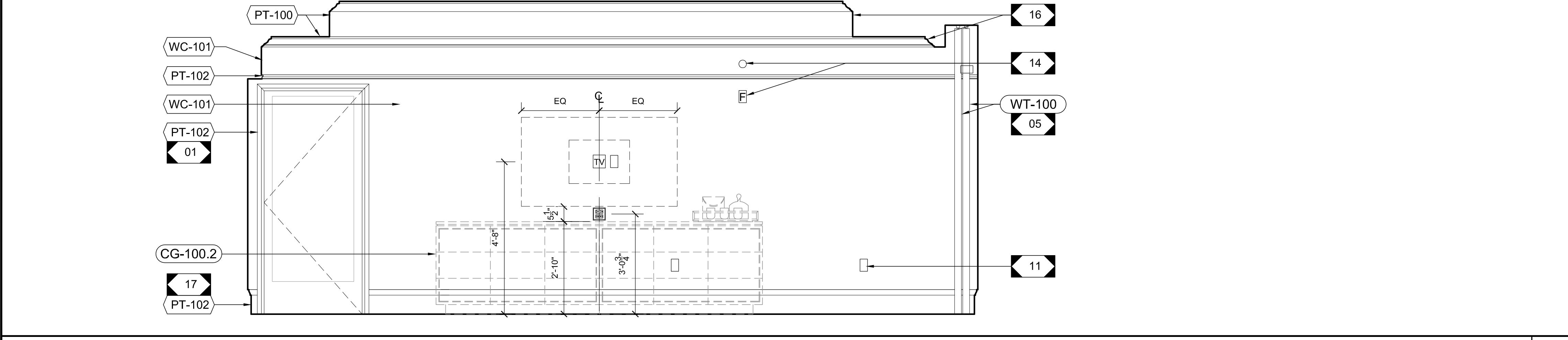
DOUBLE QUEEN ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

5



DOUBLE QUEEN ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

6



DOUBLE QUEEN ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

7

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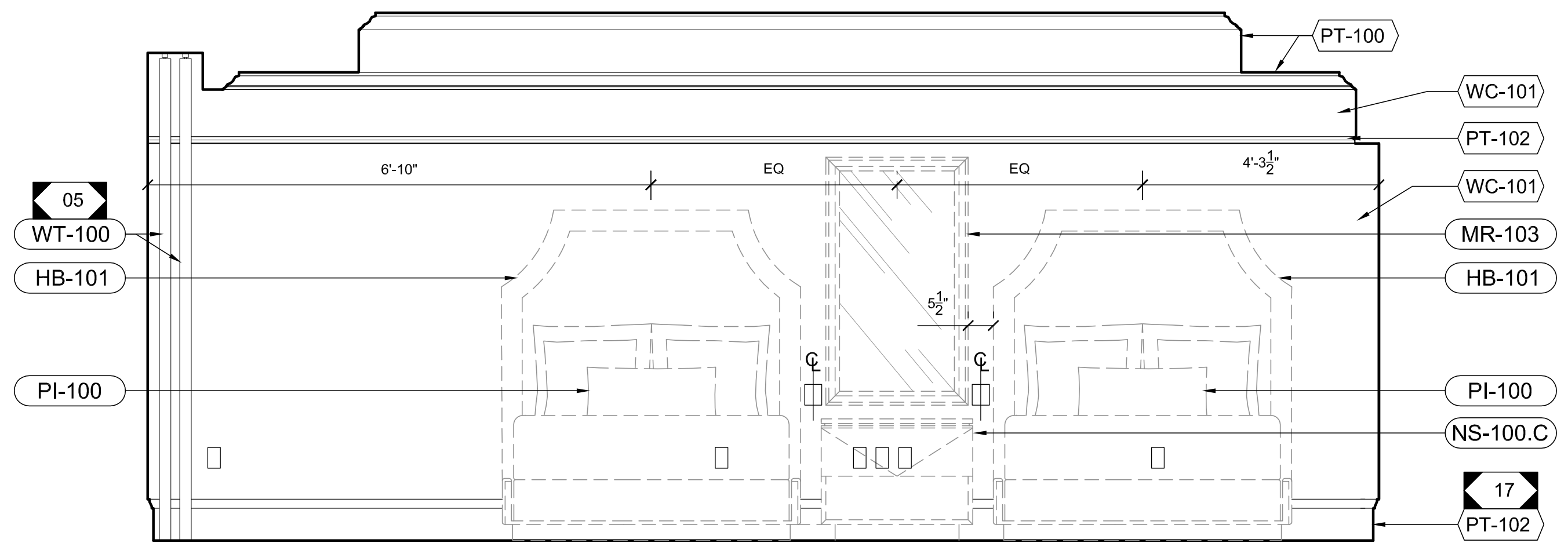
### DRAWING TITLE

TYPICAL DOUBLE QUEEN ELEVATIONS

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-604**



DOUBLE QUEEN ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

1

ELEVATION SHEET NOTES

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
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ELEVATION KEYNOTES

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EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED, AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.
- 03

EXISTING CLOSET SHELF AND ROD  
-
- 04

REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED  
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AREA OF NEW BASE TO MATCH EXISTING  
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ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
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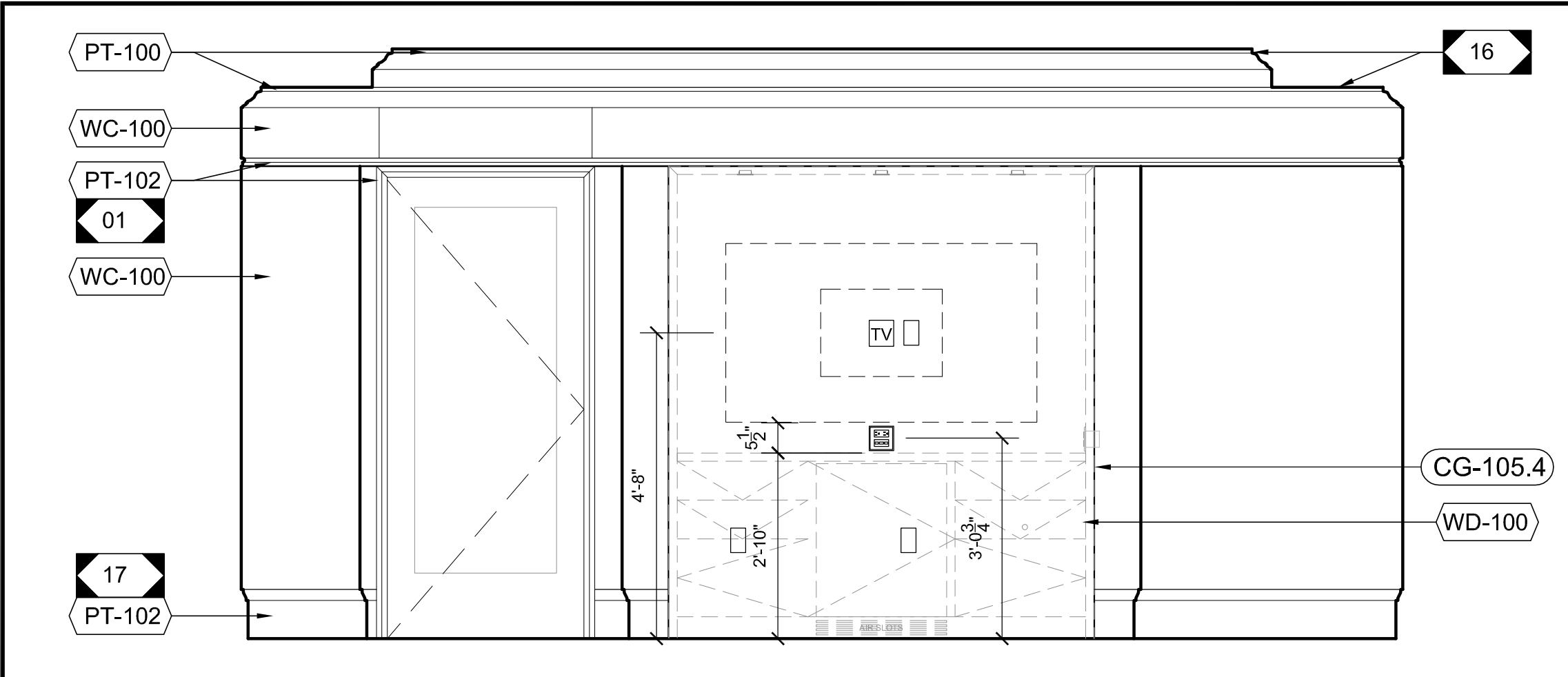
DRAWING TITLE

TYPICAL DOUBLE QUEEN  
ELEVATIONS

PROJECT NUMBER 1714.00

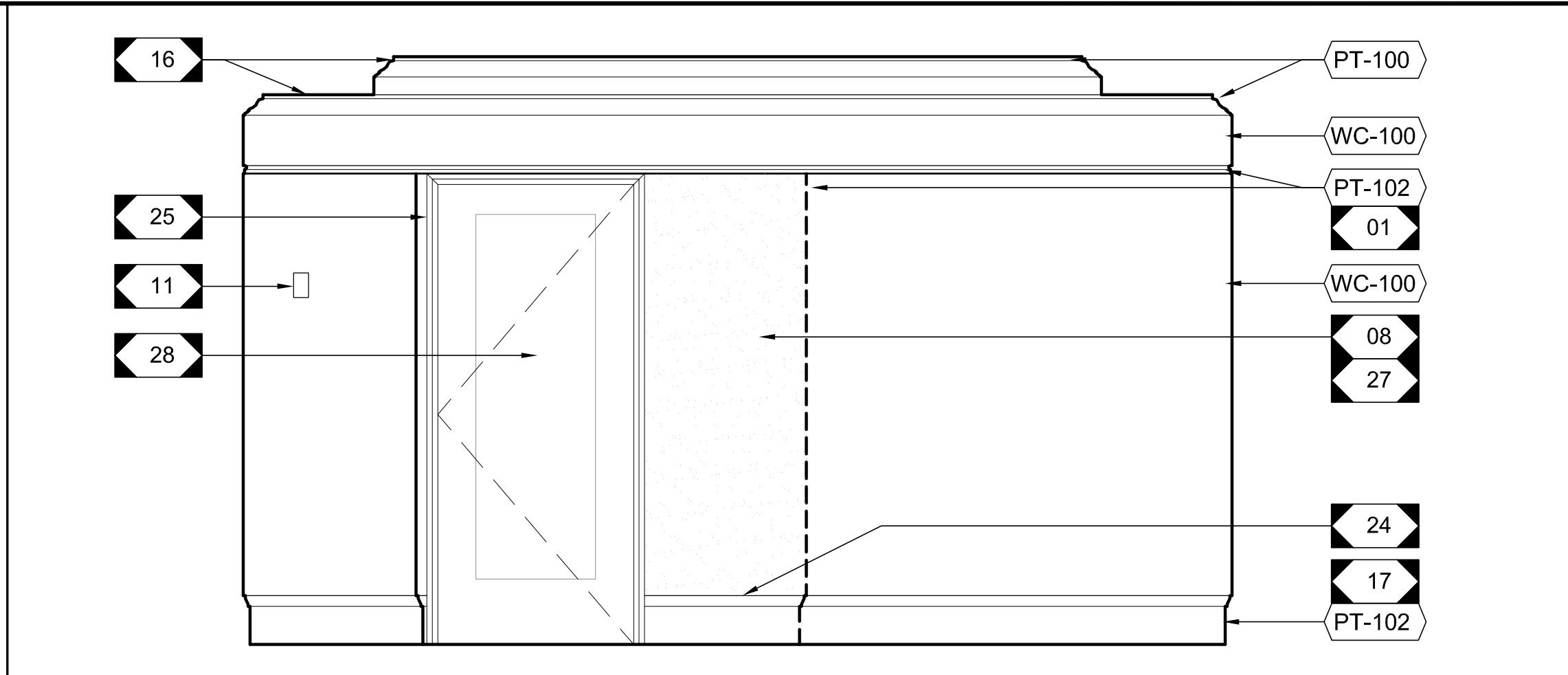
DATE 04/16/2018

SHEET NUMBER  
I-605



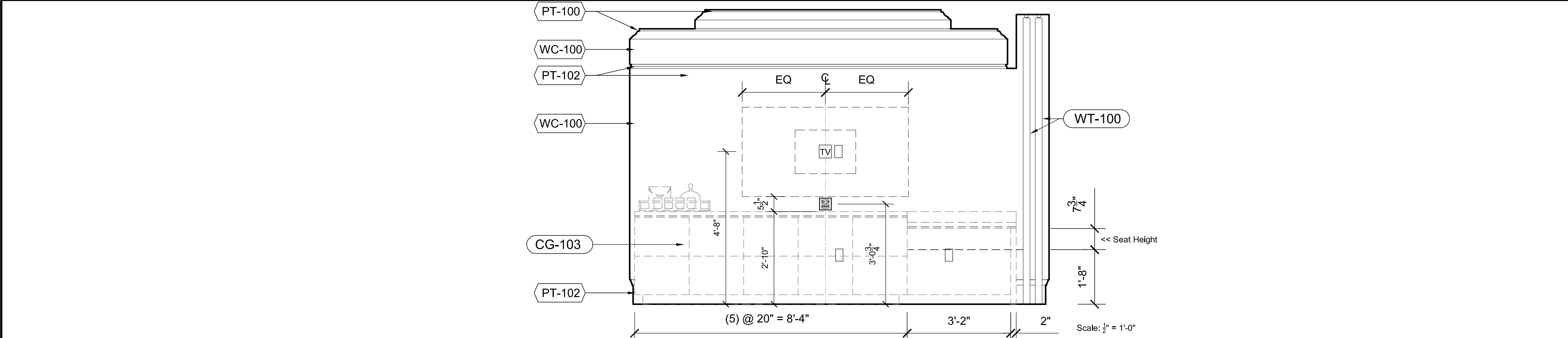
SUITE 2 ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

1



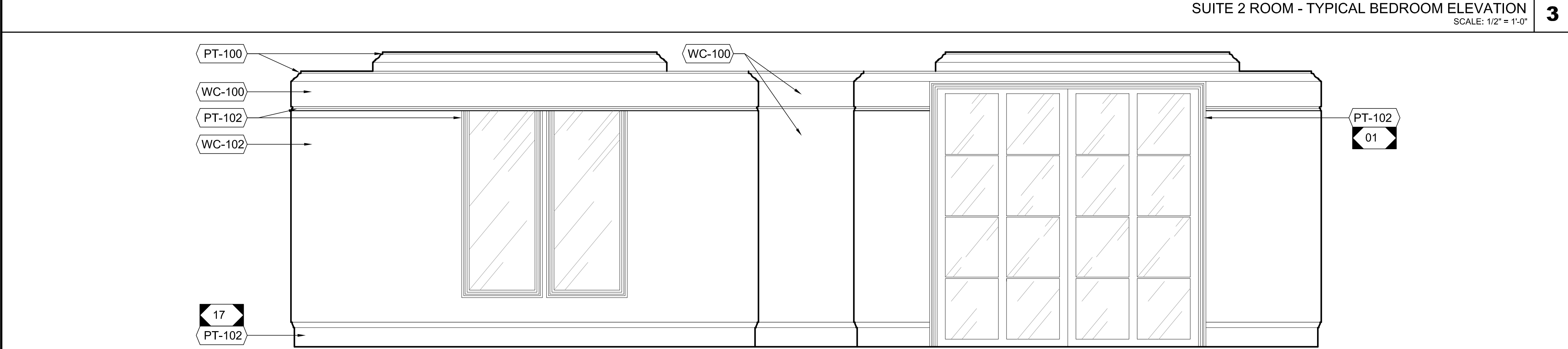
SUITE 2 ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

2



SUITE 2 ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

3



SUITE 3 ROOM - TYPICAL LIVING ROOM AND BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0"

4

### ELEVATION SHEET NOTES

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
10. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
11. REFER TO FF+E PLANS AND SPECIFICATION FOR ALL FF+E ITEMS. FF+E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
12. EXISTING POWER AND/OR DATA PORTS, WINDOWS, SILLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

### ELEVATION KEYNOTES

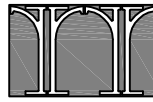
- |    |   |
|----|---|
| 01 | EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.   |
| 02 | EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.  |
| 03 | EXISTING CLOSET SHELF AND ROD   |
| 04 | REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED   |
| 05 | NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.   |
| 06 | NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.  |
| 07 | NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.  |
| 08 | NEW GYPSUM BOARD ON METAL STUD FRAMING.   |
| 09 | NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.  |
| 10 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCENCE LIGHTS   |
| 11 | OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT   |
| 12 | EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL  |
| 13 | EXISTING OUTLET   |
| 14 | EXISTING FIRE STROBE OR SMOKE DETECTOR  |
| 15 | NEW ELECTRIC MIRROR   |
| 16 | EXISTING CROWN MOLDING TO REMAIN. CLEAN AND REFURBISH. PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.  |
| 17 | EXISTING WOOD OR TILE BASE TO REMAIN. CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION  |
| 18 | EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.   |
| 19 | EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.  |
| 20 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS  |
| 21 | NEW BEVELED MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED.  |
| 22 | EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.  |
| 23 | EXISTING WALL MOUNTED PHONE   |
| 24 | AREA OF NEW BASE TO MATCH EXISTING  |
| 25 | RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION |
| 26 | NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.  |
| 27 | NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO   |
| 28 | NEW 3'-0" WIDE SWING DOOR TO MATCH EXISTING PANELED SWING DOORS IN ALL RESPECTS. NEW DOOR HARDWARE AND FRAME TO MATCH EXISTING IN ALL RESPECTS  |

ARCHITECT

Joseph E. Rabun, AIA

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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

DATE	DESCRIPTION
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DRAWING TITLE

TYPICAL SUITE 2 AND 3  
ELEVATIONS

PROJECT NUMBER

1714.00

DATE

04/16/2018

SHEET NUMBER

I-606



4

FINISH MATERIALS SCHEDULE

SYMBOL	MATERIAL	DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	PATTERN / COLOR / FINISH	INSTALLATION	REMARKS / LOCATION	CONTACT
CARPET								
CPT-100	CARPET	BROADLOOM CARPET	ROYAL THAI	PROJECT NUMBER: SP166264 DESIGN NUMBER: NX-025948-69	PDM: A310, L311/2D, L312, N313, A313, L313/6D	REFER TO SEAMING DIAGRAMS AND FLOODED PLAN FOR INSTALLATION		KRISTY BOHNE PHONE: 631-357-7920 EMAIL: KRISTYBOHNE@ROYALTHAI.COM
CARPET PAD								
CPP-100	CARPET PAD	CARPET PAD	TREDMORE	2580-QL	BLACK 60" X 54" SYNTHETIC RUBBER 26 LBS	DOUBLE GLUE DOWN		
METAL								
M-100	METAL	ACCENT METAL	TO MATCH: CHEMETAL	TO MATCH: 800 SERIES - TRADITIONAL CLASSICS	TO MATCH: COLOR: 814, SATIN GOLDEN BRONZE FINISH: BRUSHED		REFER TO DRAWINGS FOR LOCATION	PAUL PICKUNKA PHONE: 800-807-7341 EMAIL: PICKUNKA@CHEMETAL.COM
PAINT								
PT-100	PAINT	TYPICAL CEILING PAINT	SHERWIN WILLIAMS	EXTRA WHITE	COLOR: SW7006 FINISH: FLAT	1 COAT PRIMER, 2 COATS PAINT	LOCATION: REFER TO DRAWINGS FOR LOCATION, WHITE CEILING AND CROWN	SHELLY BEEKLEY PHONE: 215-806-3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM
PT-101	PAINT	ACCENT CEILING PAINT	SHERWIN WILLIAMS	PANDA WHITE	COLOR: SW6147 FINISH: FLAT	1 COAT PRIMER, 2 COATS PAINT	REFER TO DRAWINGS FOR LOCATION	SHELLY BEEKLEY PHONE: 215-806-3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM
PT-102	PAINT	TYPICAL WINDOW WALL, CASINGS AND DOOR PAINT	SHERWIN WILLIAMS	PANDA WHITE	COLOR: SW6147 FINISH: SEMI-GLOSS	1 COAT PRIMER, 2 COATS PAINT	REFER TO DRAWINGS FOR LOCATION	SHELLY BEEKLEY PHONE: 215-806-3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM
WALLCOVERING								
WC-100	WALLCOVERING	TYPICAL WALLCOVERING	INNOVATIONS	TYPE II WALLCOVERING	COLOR: VANNILLA BEAN PATTERN: RANGDON SILK NUMBER: RS8493	WIDTH: 51"	REFER TO DRAWINGS FOR LOCATION	ERIK PELLAGRINI PHONE: 212-807-6300 EMAIL: EPELLEGRINI@INNOVATIONS.COM
WC-101	NOT USED							
WC-102	WALLCOVERING CUSTOM	VESTIBULE WALLCOVERING	MDC WALLCOVERING	DIGITAL PRINT WALLCOVERING	SUBSTRATE: TUSSAH SUGARCANE BETA #16750/4767	WIDTH: 54"	REFER TO DRAWINGS FOR LOCATION	SHARON ROTHSCHILD PHONE: 800-621-4006 X 7473 EMAIL: SROTHSCHILD@MDCWALL.COM
WC-103	WALLCOVERING	POWDER ROOM WALLCOVERING	DESIGNTEX	TYPE II WALLCOVERING	COLOR: 6117-106 PEBBLE PATTERN: PATTU	WIDTH: 52"/54"	LOCATION: SUITE POWDER ROOM	JENNIFER AGUIRRE PHONE: 800-221-1540 EMAIL: JAQUIRRE@DESIGNTEX.COM
WOOD								
WD-100	WOOD VENEER	WOOD VENEER	DODGE VENEERS	QTD PLAIN FLUMED EUCALYPTUS	LOG # 50950 QUARTER CUT	-	LOCATION: SUITE LIVING ROOM	PHONE: 616-698-6450

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DRAWING TITLE

FINISH SCHEDULE  
GUEST ROOM RENOVATION  
TYPICAL KING, ROOM #936  
TYPICAL SUITE, ROOM #922

PROJECT NUMBER

1714.00

DATE

4/16/2018

SHEET NUMBER

I-903