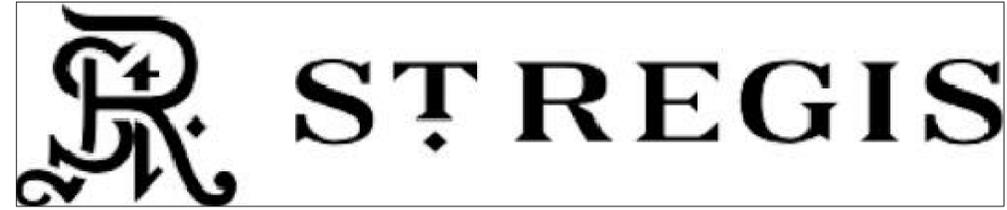


# St. REGIS ATLANTA

## GUEST ROOM RENOVATIONS

88 WEST PACES FERRY ROAD  
ATLANTA, GA 30305



# INTERIOR DRAWINGS 06/06/2018

### LOCATION MAP



### ABBREVIATIONS

ACOUSTIC TILE	-ACOUS	EQUAL EQUIPMENT	-EQ
AIR CONDITIONING	-ACT	EXCAVATE	-EXC
ALUMINUM ANCHOR BOLT	-AL	EXISTING OR EXIST	-EXP
ANGLE	-ANG	EXP BOLT	-EXP BLT
APPROVED	-APPD	EXTERIOR	-EXTR
ASPHALT	-ASPH	FACE BRICK	-FB
AUTOMATIC	-AUTO	FINISH	-FIN
AVERAGE	-AVG	FIRE ALARM	-FA
BASEMENT	-BSMT	FIRE EXTINGUISHER	-FE OR F EXT
BATHROOM	-BR	FLASHING	-FLASHG
BENCH MARK	-BM	FLOOR	-FLR
BETWEEN	-B/W	FLUORESCENT	-FLUOR
BEVELED	-BEVLD	FOOTING	-FTG
BLOCK	-BLK	FOUNDATION	-FDM OR FND
BRACKET	-BRKT	GALVANIZED	-GALV
BRICK	-BRK	GLASS	-GL
BUILDING	-BLDG	GYPNUM	-GYP
CABINET	-CAB	HARDWARE	-HDW
CAULKING	-CLK	HEIGHT	-H, HT OR HGT
CEILING	-CLG	HOLLOW METAL	-HM
CEMENT	-CMNT	HORIZONTAL	-HORIZ.
CEMENT PLASTER	-CMNT PLAS	INSULATION	-INS
CENTER	-CTR	INTERIOR	-INT
CENTER LINE	-C OR CL	INTERMEDIATE	-INTER
CERAMIC	-CER	JANITOR'S CLOSET	-J CL
CERAMIC TILE	-CT	KILN-DRIED	-KD
CHALK BOARD	-CHBD	LAVATORY	-LAV
CHANNEL	-CHAN	LENGTH	-LGTH
CLEAN OUT	-CO	LEVEL	-LEV
CLEAR	-CLR	MANUFACTURE	-MFR
CLOSET	-CLO	MASONRY OPEN	-MO
COLD WATER	-CW	MATERIAL	-MATL
COLUMN	-COL	MAXIMUM	-MAX OR max
CONCRETE	-CONC	METAL	-MTL. OR MET.
CONCRETE BLOCK	-CB	MINIMUM	-MIN OR min
CONCRETE MASONRY UNIT	-CMU	MISCELLANEOUS	-MISC
CONSTRUCTION	-CONST	NOMINAL	-NOM
CONTINUE (OUS)	-CONT	NOT IN CONTRACT	-NIC
COUNTER FLASHING	-CFLG	NUMBER	-No.
COUNTERSINK	-CSK	OCCUPANTS	-OCC
COURSES	-COUR	ON CENTER	-OC
DEMOLISH	-DEMO	OPENING	-OPNG
DEPARTMENT	-DEPT	OUTSIDE DIAMETER	-OD
DETAIL	-DET	PAINTED	-PTD
DIAMETER	-DIA	PERPENDICULAR	-PERP
DIMENSION	-DIM	PLASTER	-PLAS
DISHWASHER	-DW	PLUMBING	-PLUMB
DIVISION	-DIV	QUANTITY	-QTY
DOOR	-DR	RADIUS	-R
DOUBLE HUNG WINDOW	-DHW	REINFORCE	-REINF
DOWN	-D	RISER	-R
DOWN SPOUT	-DS	ROOFING	-RFG
DRAIN	-DRN	ROOM SCHEDULE	-RM SCH
DRAWING	-DWG	SECTION	-SECT OR SEC
DRINKING FOUNTAIN	-DF	SLOP SINK	-SS
EACH	-EA	SERVICE SINK	-SS
EAST	-E	SQUARE	-SQ
ELECTRIC(AL)	-ELEC	STAINLESS STEEL	-SST OR SS
ELEVATION	-EL OR ELEV	STANDARD	-STD
ELEVATOR	-ELEVTR	STEEL	-STL
ELECTRICAL PANEL	-EP	STORAGE	-STG
ELECTRIC WATER COOLER	-EWC	SUSPEND(ED)	-SUSP
ENCLOSE (URE)	-ENCL	THICK OR THICKNESS	-THK
ENTRANCE	-ENT	TONGUE & GROOVE	-T & G
		TYPICAL	-TYP
		UNDERWRITERS LAB	-UL
		WELODED WIRE FABRIC	-W.W.F.
		WELODED WIRE MESH	-W.W.M.

### DRAWING ANNOTATION SYMBOLS

DETAIL TITLE	TITLE	DRAWING TITLE
DETAIL No.	SCALE	
ELEVATION No.	1	ELEVATION TAGS
SHEET No.	A-000	
ELEVATION No.	3	
DETAIL No.	1	SECTION CUT INDICATOR
SHEET No.	A-000	
DETAIL No.	1	DETAIL INDICATOR
SHEET No.	A-000	
TITLE	ROOM NAME	ROOM DESIGNATION
ROOM No.	100	
	100.1	DOOR TAG
	1	PARTITION TYPE TAG
	1	ACCESSORY TAG
	FF&E	FF&E TAG
	XX-01	FINISH TAG
	1	FLOOR MATERIAL TRANSITION
	1	REVISION DELTA
	1	KEYED NOTE
		WORK POINT
		CENTERLINE
	0'-0" AFF CEILING	HEIGHT DATUM
	8'-2 3/4"	DIMENSION
		DIRECTION ARROW

### GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- CHANGES TO THE PLANS BY THE OWNER AN/OR THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES, AND NOT THAT OF THE DESIGNER.
- THE DESIGNER WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE DRAWINGS.
- CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. WHERE CODES CONFLICT WITH THESE DRAWINGS, THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- THE INTENTION OF THE DOCUMENTS IS TO DESCRIBE, IN GENERALITY, SYSTEMS AND FINISHES. THE CONTRACTOR SHALL PROVIDE AND INSTALL COMPLETE SYSTEMS IN ACCORDANCE WITH APPLICABLE CODES, MANUFACTURERS AND ASSOCIATIONS REQUIREMENTS AND RECOMMENDATIONS, OR ACCEPTABLE BUILDING PRACTICE, WHICHEVER IS MORE STRINGENT.
- ALL WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
- THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. AS THE WORK PROGRESSES THE OWNER AND THE CONTRACTOR, AT NO EXTRA COST, SHALL MAKE MODIFICATIONS TO MAKE PARTS ALIGN AND FUNCTION PROPERLY.
- RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION. INSPECT BOTH THE SUBSTRATE AND THE CONDITIONS FOR EACH MAJOR COMPONENT. DO NOT PROCEED UNTIL ANY UNSATISFACTORY CONDITION(S) HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
- COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN CONTRACT DOCUMENTS.
- PROVIDE ATTACHMENTS AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK. SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT.
- PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICES TO DESIGNER FOR FINAL DECISION.
- ANY OMISSIONS FROM THE DOCUMENTS WHICH WOULD CUSTOMARILY BE PART OF THE SYSTEM OR FINISHES SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE FROM THE SITE EXCESS EXCAVATED MATERIALS, TRASH, DEBRIS, AND WASTE MATERIALS. DISPOSAL SHALL BE IN A MANNER APPROVED BY STATE AND LOCAL AUTHORITIES.
- ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, SURROUNDING PRIVATE /PUBLIC PROPERTIES, AND PUBLIC RIGHT OF WAY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CLEAN AND SAFE WORK AREA AND IS RESPONSIBLE FOR SAFETY AT THE SITE.
- CONTRACTOR SHALL PROVIDE ANY REQUIRED PROTECTION OF WORK. NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO NULLIFY ANY RULES, REGULATIONS OR STATUTES OF STATE OR FEDERAL AGENCIES GOVERNING THE PROTECTION OF THE PUBLIC OR WORKERS FROM HEALTH OR OTHER HAZARDS INVOLVED IN THE OPERATIONS REQUIRED TO PERFORM THIS WORK.
- CONSTRUCT AND INSTALL TEMPORARY PROTECTION MEASURES PRIOR TO START OF CONSTRUCTION. TEMPORARY PROTECTION SHALL BE REMOVED WHEN WORK IS COMPLETE. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, BUILDING OR STRUCTURE FROM DAMAGE OR INJURY.
- ALL CONSTRUCTION EQUIPMENT AND SAFEGUARDS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN A SUBSTANTIAL MANNER AND SHALL BE SO OPERATED AS TO INSURE PROTECTION TO THE WORKERS ENGAGED THEREON AND TO THE GENERAL PUBLIC. ALL EXISTING AND ADJOINING IMPROVEMENTS SHALL BE PROTECTED FROM DAMAGE INCIDENTAL TO CONSTRUCTION OPERATIONS.
- PROTECT EXISTING ROADWAYS, WALKWAYS AND ADJOINING MALL SPACES. ENCLOSE STAGING EQUIPMENT AND STORAGE AREAS WITH BARRICADES TO PREVENT ENTRY OF UNAUTHORIZED PERSONS. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE. EXISTING BUILDINGS OR STRUCTURES FROM DAMAGE OR INJURY.
- MATERIALS AND EQUIPMENT REQUIRED IN CONSTRUCTION OPERATIONS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER OR OBSTRUCT THE PUBLIC, THE WORKERS OR THE ADJOINING SPACES.
- ALL ABANDONED PIPING, CONDUITS, AND DEBRIS SHALL BE REMOVED OR CAPPED.
- FIRE SAFE (IN COMPLIANCE WITH AUTHORITY APPROVED UL LISTINGS) AND SEAL ALL PENETRATIONS WATERTIGHT, PRIOR TO CLOSE-IN.
- THROUGH-PENETRATIONS OF RATED FIRE RESISTANT ASSEMBLIES/BARRIERS SHALL BE IN COMPLIANCE WITH NFPA 101 (AND 90A), F.M. APPROVED, AND UL LISTED. FIRE SAFE ANNULAR SPACE BETWEEN NON-COMBUSTIBLE PENETRATION ITEM AND NON-COMBUSTIBLE SLEEVE WITH F.M. APPROVED AND UL LISTED FIRE RATED MATERIAL WITH A RATING EQUAL TO THE BARRIER PENETRATED. THROUGH-PENETRATIONS AND FIRE SAFING OF FIRE RATED FLOORS AND WALLS SHALL BE IN COMPLIANCE WITH THE UL FIRE RESISTANCE DIRECTORY (LATEST ADOPTED EDITION) AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

### GENERAL NOTES CONTINUED

- "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DRAWINGS ARE USUALLY NOTED "TYP" ONLY WHEN THEY FIRST OCCUR.
- "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE DRAWINGS.
- ALL WORK REQUIRED FOR COMPLETION OF THE SCOPE OF WORK, DRAWN AND/OR NOT DRAWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND SHALL BE MANUFACTURED AND INSTALLED TO INDUSTRY AND TRADE STANDARDS. ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE AND FEDERAL AUTHORITIES, UTILITY COMPANIES, INSURANCE AGENCIES AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH CURRNT ENVIRONMENTAL REGULATIONS.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY CONSTRUCTION. PROTECT SURROUNDING OCCUPIED AREAS FROM CONSTRUCTION DIRT AND DUST. ALL WORK AREAS TO BE THOROUGHLY CLEANED AFTER THE COMPLETION OF ENTIRE PROJECT CONSTRUCTION ACTIVITIES.
- DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS SO THAT CONSTRUCTION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.

### OWNER'S REPRESENTATIVE

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### DRAWING LIST

#### INTERIOR DRAWINGS

INTERIOR DRAWINGS		2018-06-06 PERMIT SET/RELEASED FOR CONST.
G000	INTRO SHEET	●
G001 - 009	SPECIFICATIONS	●
G010	ADA GUIDELINES	●
D100 - 104	DEMOLITION PLAN - TYPICAL ROOMS	●
D200 - 204	CEILING DEMOLITION PLAN - TYPICAL ROOMS	●
I100 - 104	FLOOR PLAN - TYPICAL ROOMS	●
I200 - 204	REFLECTED CEILING PLAN - TYPICAL ROOMS	●
I300 - 304	FINISH PLAN - TYPICAL ROOMS	●
I400 - 404	POWER & DATA PLAN - TYPICAL ROOMS	●
I500 - 504	OVERALL FURNITURE PLANS	●
I500 A	FURNITURE PLAN - TYPICAL KING	●
I501 A	FURNITURE PLAN - TYPICAL SUITE	●
I502 A	FURNITURE PLAN - TYPICAL DBL QUEEN	●
I503 A	FURNITURE PLAN - JUNIOR SUITE	●
I504 A	FURNITURE PLAN - JUNIOR SUITE	●
I600 - 606	INTERIOR ELEVATIONS / SECTIONS, TYPICAL ROOMS	●
I-800	FF&E SUITE BAR - FF&E ITEM INSTALLED BY OWNER	●
I-903	FINISH SCHEDULE	●

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### ARCHITECT STAMP

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

### REVISIONS

06/06/18 PERMIT SET/RELEASED FOR CONST.

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DRAWING TITLE  
INTRO SHEET  
GUEST ROOM RENOVATIONS

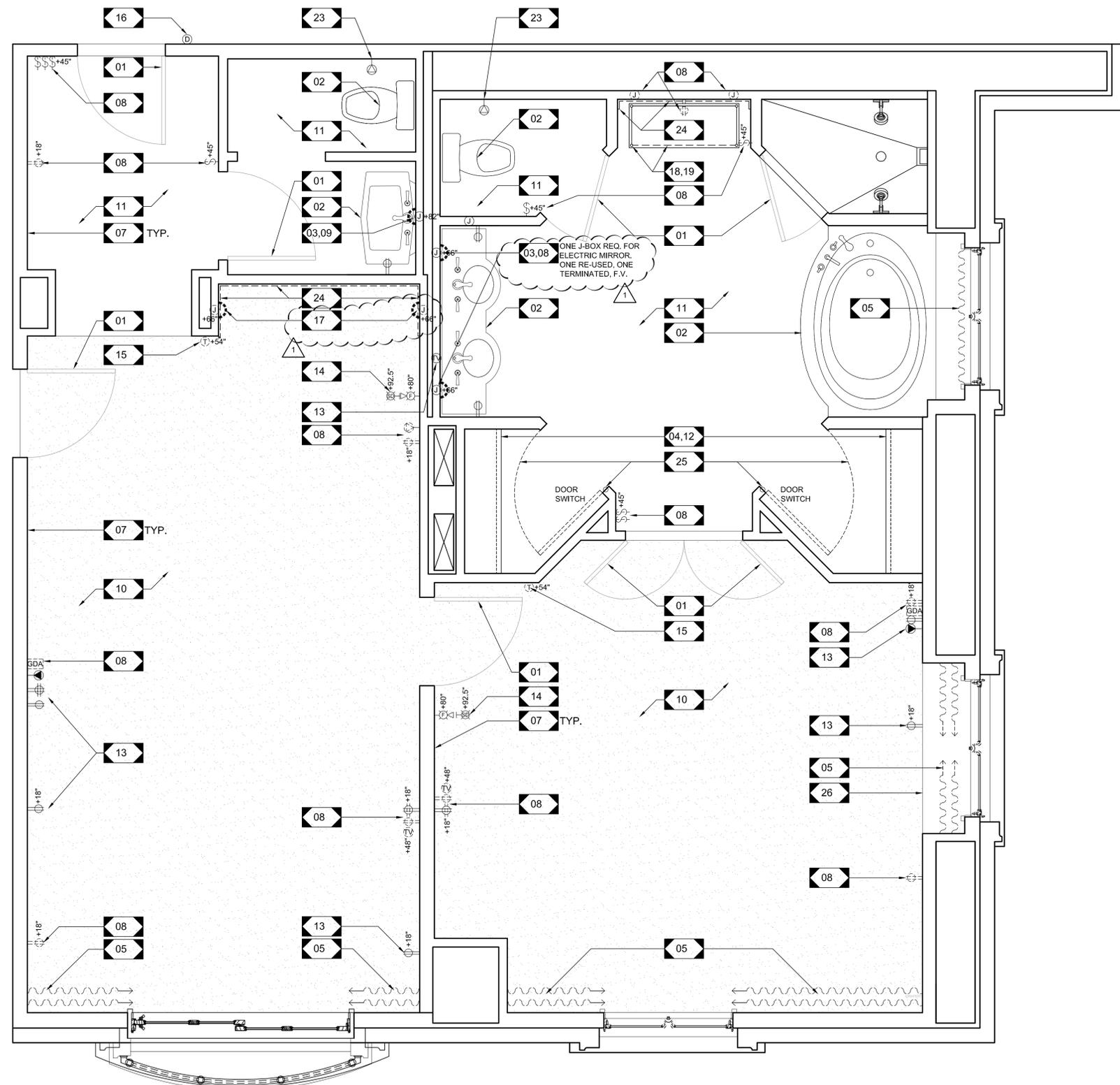
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **G-000**







**DEMOLITION KEYNOTES**

- 01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP.
- 02 EXISTING VANITY TOP, BACKSPASH, SINK, TUB, FAUCET AND TOILET TO REMAIN.
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 04 EXISTING ROOM SAFE TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 05 EXISTING SHADE OR DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- 06 EXISTING UNDER COUNTER REFRIGERATOR TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 07 REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+E PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- 08 EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 09 CAREFULLY REMOVE EXISTING DECORATIVE MIRROR. SALVAGE MIRROR, WALL BLOCKING AND MOUNTING HARDWARE FOR RE-USE. EXISTING GYP. BOARD AREA TO BE PREPPED FOR NEW WALLCOVERING.
- 10 EXISTING CARPET AND PAD TO BE REMOVED
- 11 EXISTING FLOOR FINISH TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING MILLWORK ITEMS TO REMAIN.
- 13 EXISTING OUTLET OR SWITCH TO REMAIN.
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR TO REMAIN.
- 15 EXISTING THERMOSTAT TO BE REMOVED. LOW VOLTAGE CONTROL CIRCUIT TO REMAIN FOR NEW THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- 17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18 PORTION OF EXISTING LOWER FRONT METAL BAR TO BE CLEANLY CUT AND REMOVED TO INCREASE KNEE SPACE AT MAKE UP VANITY.
- 19 +/- 2" LOWER PORTION OF EXISTING LEGS TO BE CLEANLY CUT AND REMOVED TO LOWER MAKE-UP VANITY TO 28" TO BETTER COORDINATE WITH HEIGHT OF STOOL.
- 20 EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS TO BE REMOVED
- 21 EXISTING BEVELED MIRROR PANELS AND WOOD MUNTINS TO BE REMOVED FROM BOTH SIDES OF DOOR. SALVAGE PULLS
- 22 EXISTING ARTWORK TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE SCOPE WITH OWNER'S REPRESENTATIVE
- 23 EXISTING WALL MOUNTED PHONE TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 24 PORTION OF EXISTING BASE TO BE CLEANLY REMOVED. EXISTING REMAINING PORTION TO INTERFACE WITH NEW MILLWORK CONSTRUCTION SHOWN
- 25 EXISTING DOOR, HARDWARE AND DOOR SWITCH TO BE CAREFULLY REMOVED AND/OR SALVAGED FOR "FLIPPED" RE-INSTALLATION AS SHOWN. PRESERVE CASING TRIM AS BEST POSSIBLE
- 26 EXISTING WINDOW TRIM AND PORTION OF EXISTING BASE TO BE CLEANLY REMOVED. REMOVE PORTION OF EXISTING GYP. BOARD AS REQUIRED TO INTERFACE WITH NEW INFILLED WALL CONSTRUCTION SHOWN

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ARCHITECT STAMP

**ST. REGIS GUESTROOM RENOVATIONS**  
 88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1

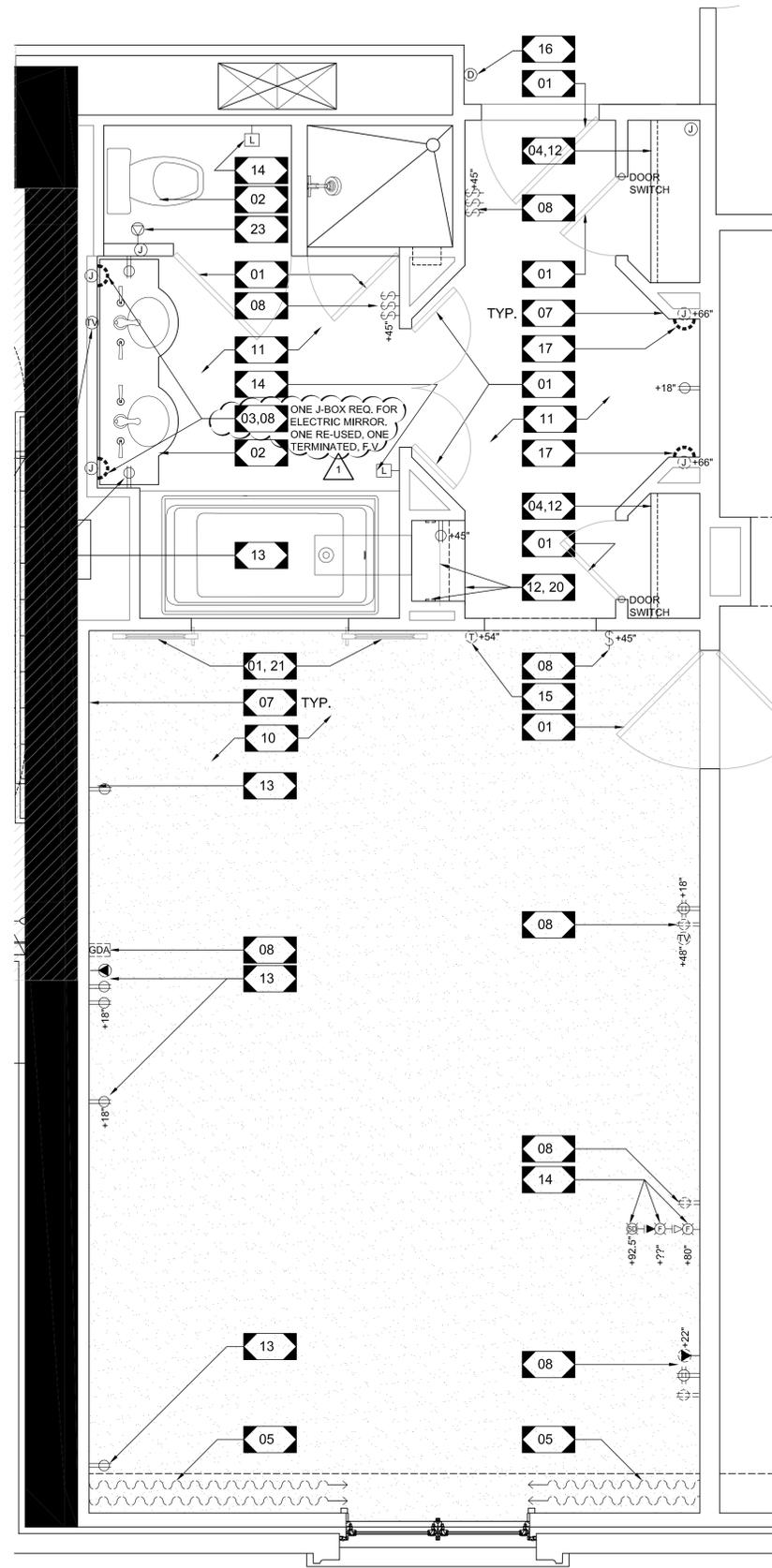
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DRAWING TITLE  
**DEMOLITION PLAN**  
**GUEST ROOM RENOVATIONS**  
**TYPICAL SUITE**

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-101**



DEMO PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0" **1**

**DEMOLITION KEYNOTES**

- ◀01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP.
- ◀02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND TOILET TO REMAIN.
- ◀03 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- ◀04 EXISTING ROOM SAFE TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- ◀05 EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- ◀06 EXISTING UNDER COUNTER REFRIGERATOR TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- ◀07 REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+E PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- ◀08 EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- ◀09 CAREFULLY REMOVE EXISTING DECORATIVE MIRROR. SALVAGE MIRROR, WALL BLOCKING AND MOUNTING HARDWARE FOR RE-USE. EXISTING GYP. BOARD AREA TO BE PREPPED FOR NEW WALLCOVERING.
- ◀10 EXISTING CARPET AND PAD TO BE REMOVED
- ◀11 EXISTING FLOOR FINISH TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- ◀12 EXISTING MILLWORK ITEMS TO REMAIN.
- ◀13 EXISTING OUTLET OR SWITCH TO REMAIN.
- ◀14 EXISTING FIRE STROBE, SMOKE DETECTOR OR HEARING IMPAIRED DEVICE TO REMAIN
- ◀15 EXISTING THERMOSTAT TO BE REMOVED. LOW VOLTAGE CONTROL CIRCUIT TO REMAIN FOR NEW THERMOSTAT
- ◀16 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- ◀17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- ◀18 PORTION OF EXISTING LOWER FRONT METAL BAR TO BE CLEANLY CUT AND REMOVED TO INCREASE KNEE SPACE AT MAKE UP VANITY.
- ◀19 +/- 2" LOWER PORTION OF EXISTING LEGS TO BE CLEANLY CUT AND REMOVED TO LOWER MAKE-UP VANITY TO 28" TO BETTER COORDINATE WITH HEIGHT OF STOOL.
- ◀20 EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS TO BE REMOVED
- ◀21 EXISTING BEVELED MIRROR PANELS AND WOOD MUNTINS TO BE REMOVED FROM BOTH SIDES OF DOOR. SALVAGE PULLS
- ◀22 EXISTING ARTWORK TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE SCOPE WITH OWNER'S REPRESENTATIVE
- ◀23 EXISTING WALL MOUNTED PHONE TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- ◀24 PORTION OF EXISTING BASE TO BE CLEANLY REMOVED. EXISTING REMAINING PORTION TO INTERFACE WITH NEW MILLWORK CONSTRUCTION SHOWN
- ◀25 EXISTING DOOR, HARDWARE AND DOOR SWITCH TO BE CAREFULLY REMOVED AND SALVAGED FOR "FLIPPED" RE-INSTALLATION AS SHOWN

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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

DATE	DESCRIPTION
06/06/18	PERMIT SET/RELEASED FOR CONST.
07/25/18	ADDENDUM #1
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DRAWING TITLE  
DEMOLITION PLAN  
GUEST ROOM RENOVATIONS  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

DATE 04/16/2018

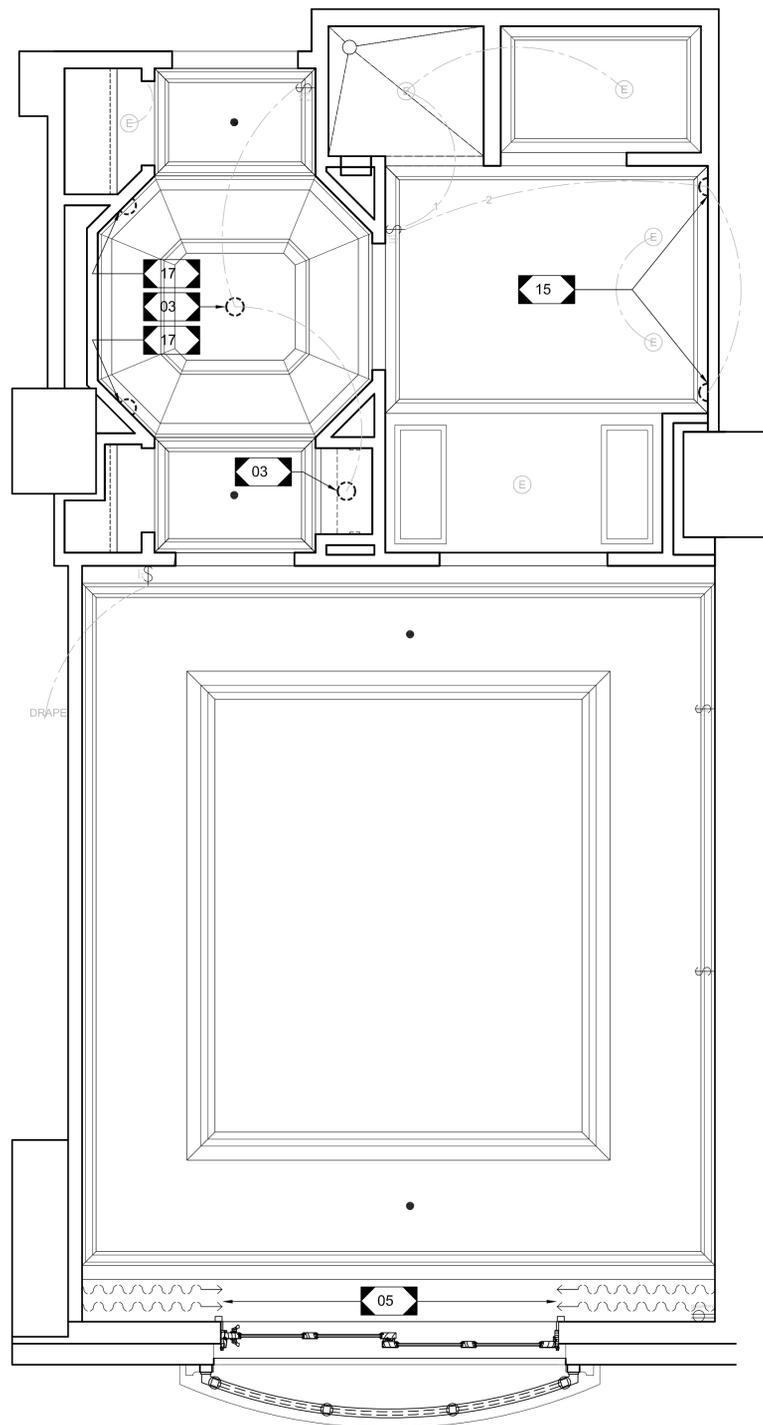
SHEET NUMBER **D-102**





**LIGHT FIXTURE LEGEND**

-  EXISTING LIGHT FIXTURES TO REMAIN
-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
-  SWITCH AND/OR CIRCUIT TO BE REMOVED
-  J-BOX
-  SPRINKLER TO REMAIN



**DEMOLITION SHEET NOTES**

1. PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
3. DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.
4. COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
5. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
6. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
7. INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
9. DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
10. NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, SHALL NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
11. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.
12. ALL FIRE SAFETY EQUIPMENT AND THE ASSOCIATED CONDUIT AND WIRING SYSTEM SHALL NOT BE HARMED DURING DEMOLITION AND/OR ANY CONSTRUCTION AND SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE.
13. AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
14. ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURN TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
15. ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
16. ALL EXISTING POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND REFURBISH FINISH PLATES IF/AS REQUIRED.
17. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES.
18. ALL EXISTING WINDOWS AND SILLS TO REMAIN U.N.O. REPAIR AND REFURBISH IF/AS REQUIRED.
19. ALL PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES TO REMAIN U.N.O. CLEAN, REPAIR AND/OR REFURBISH IF/AS REQUIRED.
20. ALL EXISTING FASCIA/SOFFIT/COVE TO REMAIN.
21. ALL EXISTING CEILING, MOLDING, SPRINKLERS, DIFFUSERS, DUCTWORK AND CEILING DEVICES TO REMAIN U.N.O.
22. EXISTING ROOM SIGNS AND ASSOCIATED SIGNAGE TO REMAIN U.N.O.
23. ALL EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE
24. **GENERAL LIGHTING NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH EXISTING "LUMASTREAM" LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM

**DEMOLITION KEYNOTES**

-  -
-  -
-  EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
-  -
-  EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
-  -
-  -
-  -
-  -
-  -
-  -
-  -
-  EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4/MODEGREEN'.
-  EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE.
-  EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
-  -
-  EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
-  -
-  -
-  -
-  -
-  -

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE

**CEILING DEMOLITION PLAN**  
GUEST ROOM RENOVATION  
TYPICAL KING

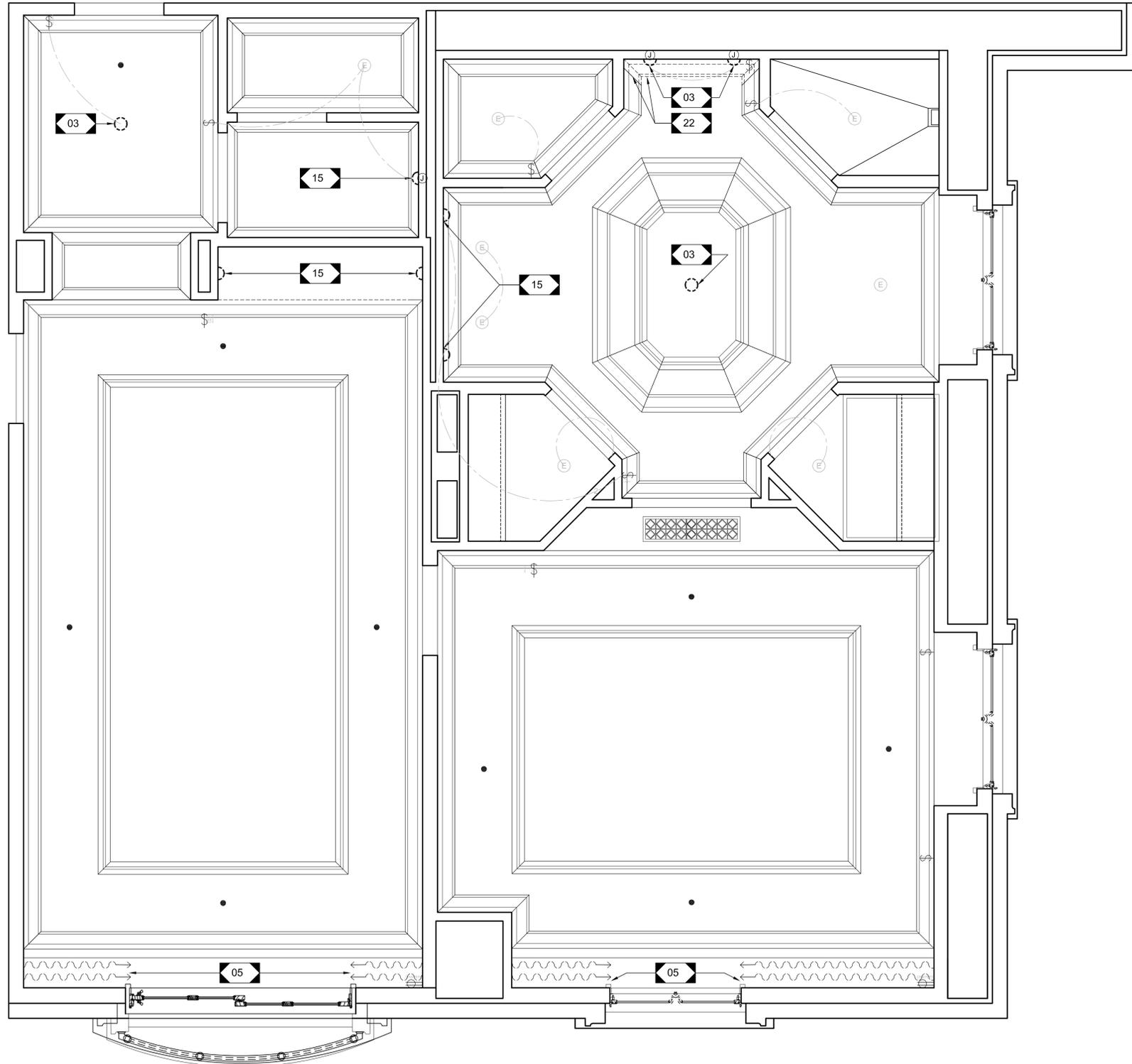
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-200**

**LIGHT FIXTURE LEGEND**

- E EXISTING LIGHT FIXTURES TO REMAIN
- E EXISTING LIGHT FIXTURE TO BE REMOVED
- § SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
- § SWITCH AND/OR CIRCUIT TO BE REMOVED
- J-BOX
- SPRINKLER TO REMAIN



**DEMOLITION KEYNOTES**

- 01 -
- 02 -
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04 -
- 05 EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06 -
- 07 -
- 08 -
- 09 -
- 10 -
- 11 -
- 12 -
- 13 EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL' MODE GREEN.
- 14 EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL'.
- 15 EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16 -
- 17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 18 -
- 19 -
- 20 -
- 21 -
- 22 PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.

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DRAWING TITLE  
CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

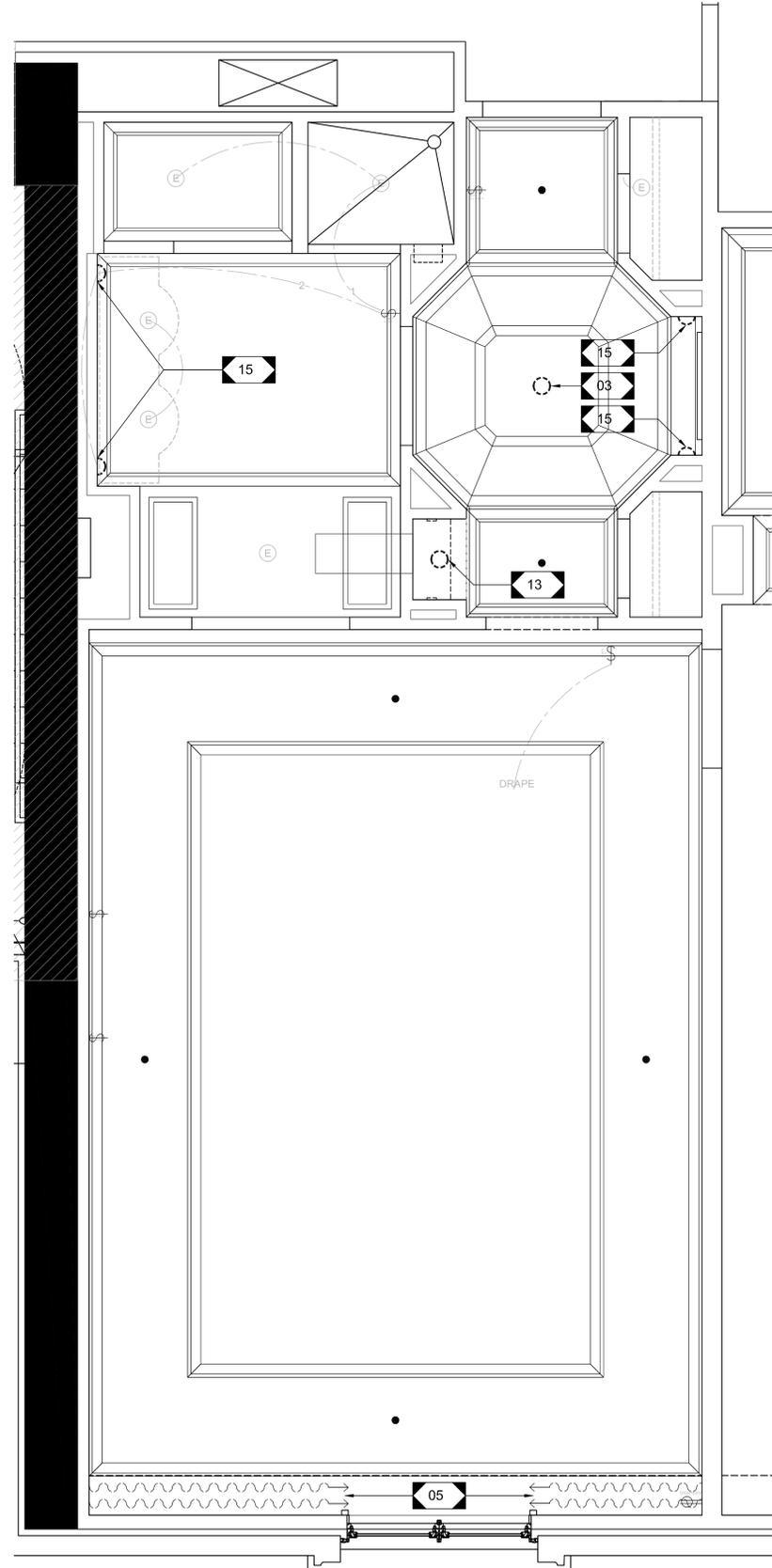
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-201**

**LIGHT FIXTURE LEGEND**

-  EXISTING LIGHT FIXTURES TO REMAIN
-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
-  SWITCH AND/OR CIRCUIT TO BE REMOVED
-  J-BOX
-  SPRINKLER TO REMAIN



**DEMOLITION KEYNOTES**

- 01 -
- 02 -
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04 -
- 05 EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06 -
- 07 -
- 08 -
- 09 -
- 10 -
- 11 -
- 12 -
- 13 EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL' MODE GREEN.
- 14 EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
- 15 EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 16 -
- 17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

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**DRAWING TITLE**  
CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

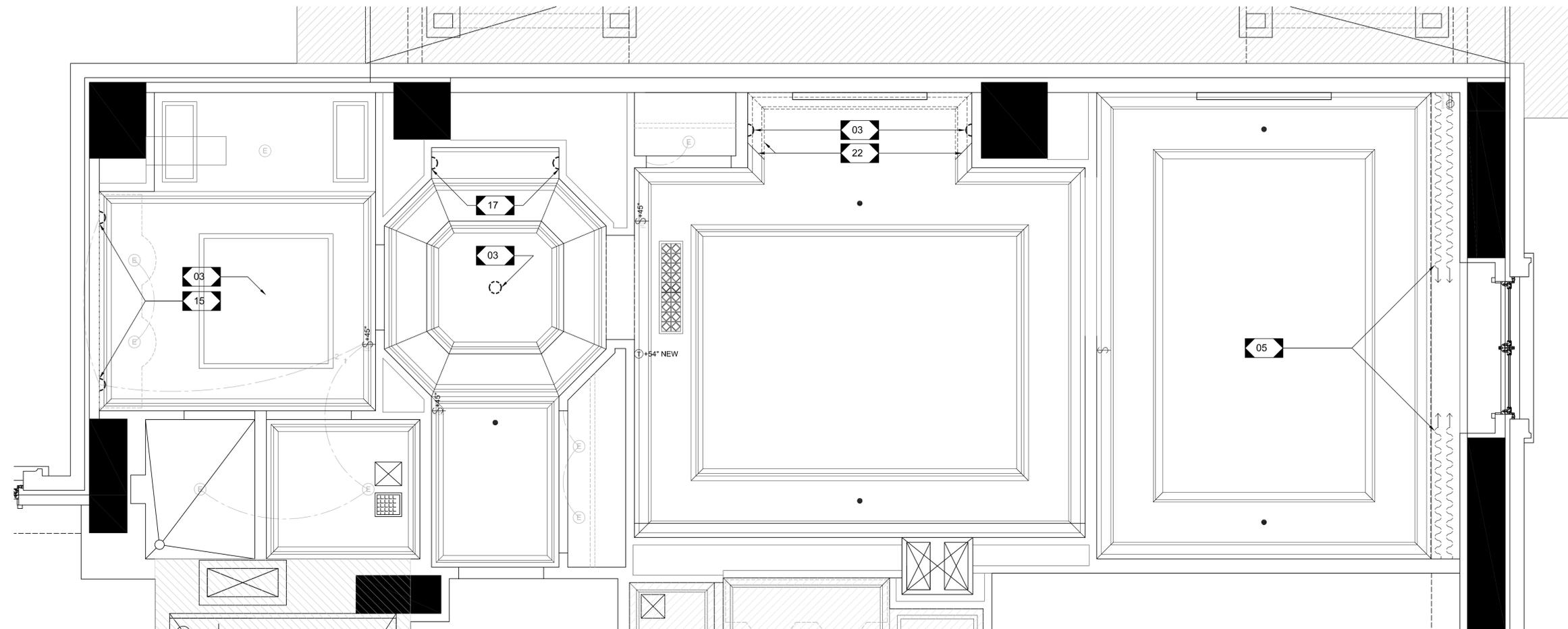
**PROJECT NUMBER** 1714.00

**DATE** 04/16/2018

**SHEET NUMBER** **D-202**

**LIGHT FIXTURE LEGEND**

-  EXISTING LIGHT FIXTURES TO REMAIN
-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
-  SWITCH AND/OR CIRCUIT TO BE REMOVED
-  J-BOX
-  SPRINKLER TO REMAIN



CEILING DEMO PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0" **1**

**DEMOLITION KEYNOTES**

- |   |  |  |
|---|--|--|
| <ul style="list-style-type: none"> <li> -</li> <li> -</li> <li> EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.</li> <li> -</li> <li> EXISTING DRAPERY FABRIC TO BE REMOVED, EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.</li> <li> -</li> <li> -</li> <li> -</li> <li> -</li> <li> -</li> <li> -</li> </ul> | <ul style="list-style-type: none"> <li> -</li> <li> EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4/MODEGREEN'.</li> <li> EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL4'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.</li> <li> EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.</li> <li> -</li> <li> EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE</li> <li> -</li> <li> -</li> <li> -</li> </ul> | <ul style="list-style-type: none"> <li> -</li> <li> PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION</li> </ul> |
|---|--|--|

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE  
CEILING DEMOLITION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

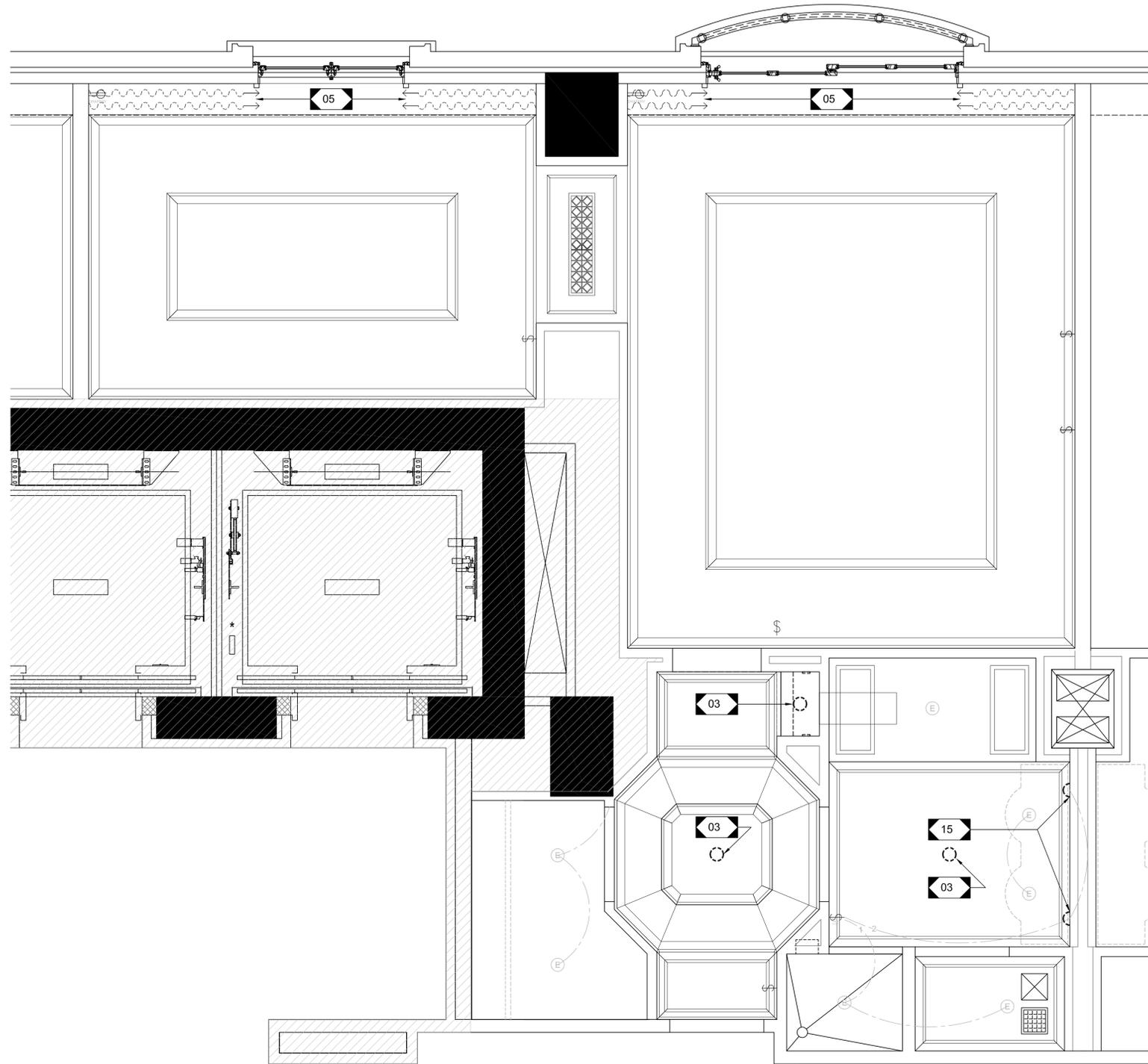
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-203**

**LIGHT FIXTURE LEGEND**

-  EXISTING LIGHT FIXTURES TO REMAIN
-  EXISTING LIGHT FIXTURE TO BE REMOVED
-  SWITCH LOCATION AND/OR CIRCUIT TO REMAIN
-  SWITCH AND/OR CIRCUIT TO BE REMOVED
-  J-BOX
-  SPRINKLER TO REMAIN



**DEMOLITION KEYNOTES**

- 01 -
- 02 -
- 03 - EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING J-BOX TO REMAIN FOR NEW LIGHT FIXTURE.
- 04 -
- 05 - EXISTING DRAPERY FABRIC TO BE REMOVED. EXISTING TRACK, HOOKS AND MOTOR, IF ANY, TO BE REMOVED.
- 06 -
- 07 -
- 08 -
- 09 -
- 10 -
- 11 -
- 12 -
- 13 - EXISTING LIGHT FIXTURE TO BE REMOVED. IF FEASIBLE, EXISTING 'CONTROL' CIRCUIT AND/OR COMPONENTRY TO BE RELOCATED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL' MODE GREEN.
- 14 - EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL'. NO CIRCUITS OR DEVICES ARE TO ABANDONED LIVE.
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- 16 -
- 17 - EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

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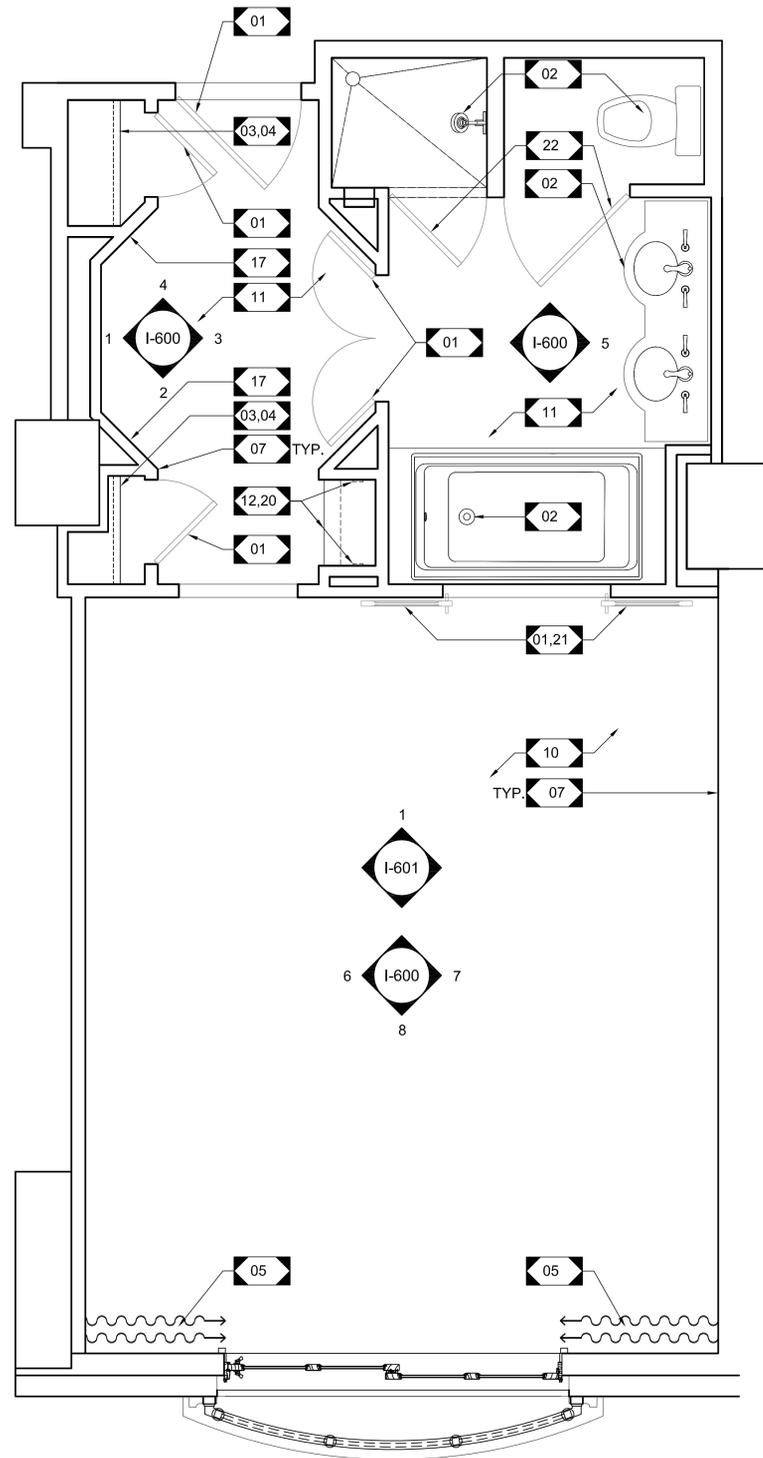
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DRAWING TITLE  
**CEILING DEMOLITION PLAN**  
 GUEST ROOM RENOVATION  
 JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **D-204**



CONSTRUCTION PLAN - TYPICAL KING  
SCALE: 1/2" = 1'-0" **1**

**CONSTRUCTION SHEET NOTES**

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH.
10. PROTECT ALL EXISTING MOLDING AND WOOD BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
11. ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
12. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

**CONSTRUCTION KEYNOTES**

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED.
- 03 EXISTING CLOSET SHELF AND ROD
- 04 REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED
- 05 NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06 NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW GYPSUM BOARD ON METAL STUD FRAMING.
- 09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 EXISTING OUTLET
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR
- 15 EXISTING THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE
- 17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
- 18 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.
- 19 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
- 20 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23 EXISTING WALL MOUNTED PHONE
- 24 AREA OF NEW BASE TO MATCH EXISTING
- 25 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 26 NEW INSET, 1" BEVELED, 3/4" THK. CLEAR TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27 NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING

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ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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DRAWING TITLE

CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER 1714.00

DATE 04/16/2018

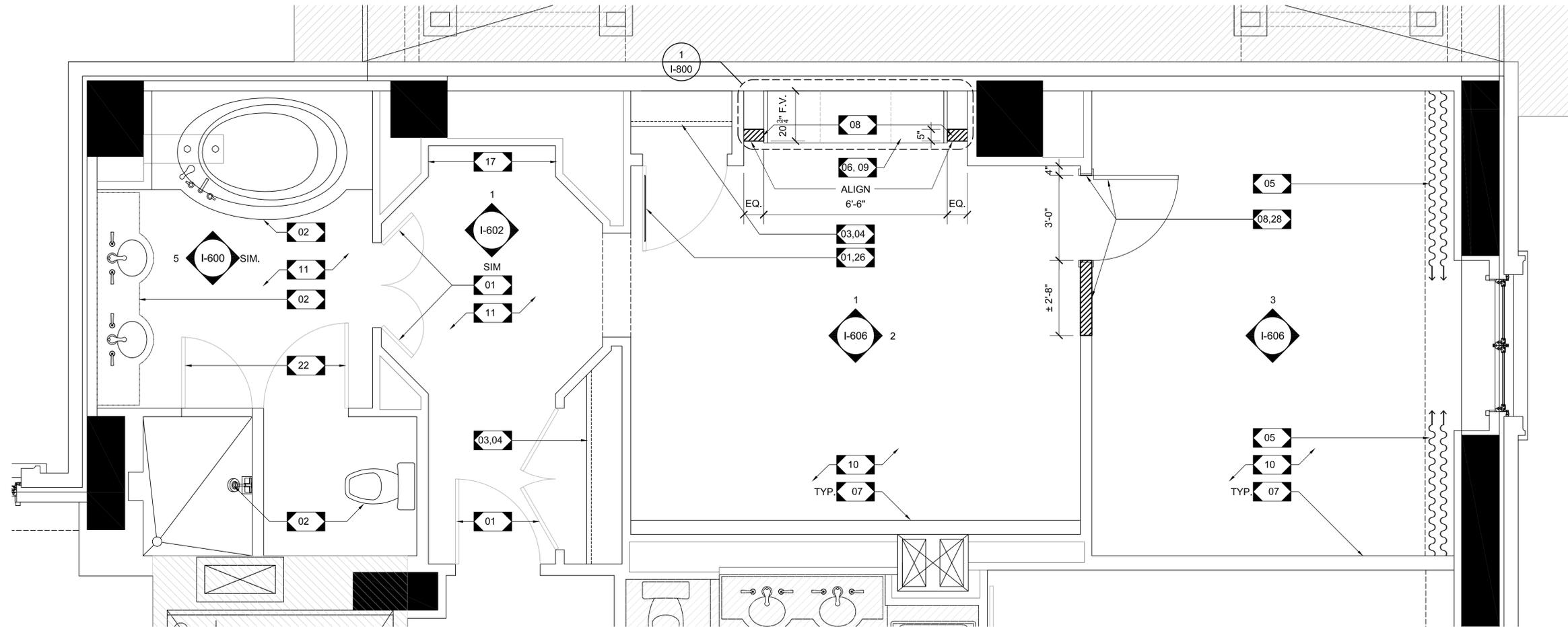
SHEET NUMBER **I-100**







ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA



CONSTRUCTION PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0" **1**

**CONSTRUCTION KEYNOTES**

- 01** EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02** EXISTING VANITY TOP, BACKSPASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED.
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- 05** NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06** NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
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- 08** NEW GYPSUM BOARD ON METAL STUD FRAMING. NEW BASE TO MATCH EXISTING IN ALL RESPECTS
- 09** NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10** NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- 11** EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12** EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13** EXISTING OUTLET
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- 15** EXISTING THERMOSTAT
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- 26** NEW INSET, 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27** NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO BE SIMILAR TO THAT OF EXISTING INFILL IN SUITE MODEL ROOM #922.

- 28** NEW 3'-0" WIDE SWING DOOR TO MATCH EXISTING PANELED SWING DOORS IN ALL RESPECTS. NEW DOOR HARDWARE AND FRAME TO MATCH EXISTING IN ALL RESPECTS

REVISIONS

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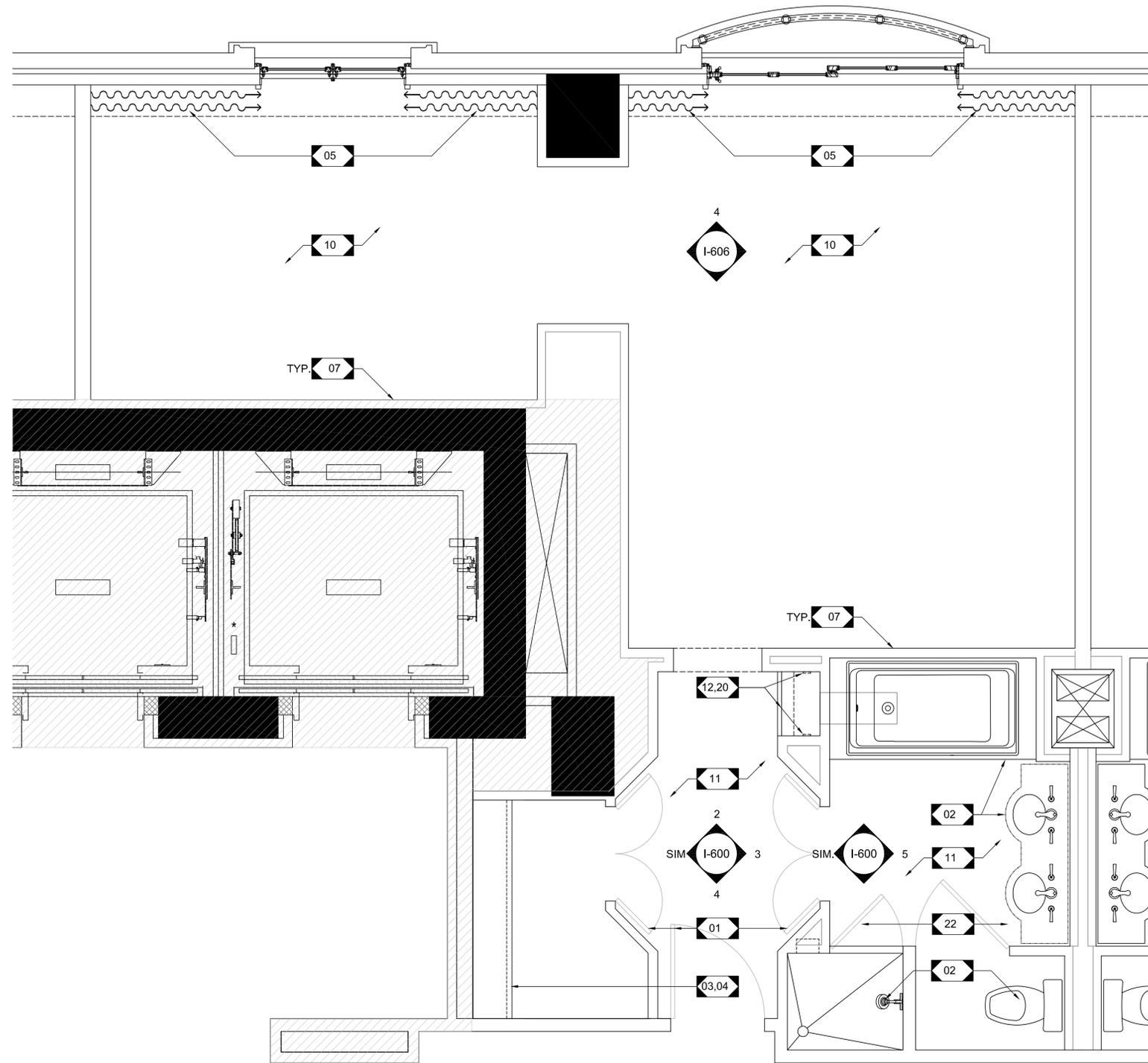
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DRAWING TITLE  
CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-103**



**CONSTRUCTION KEYNOTES**

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
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- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
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- 27 NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE  
**CONSTRUCTION PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE**

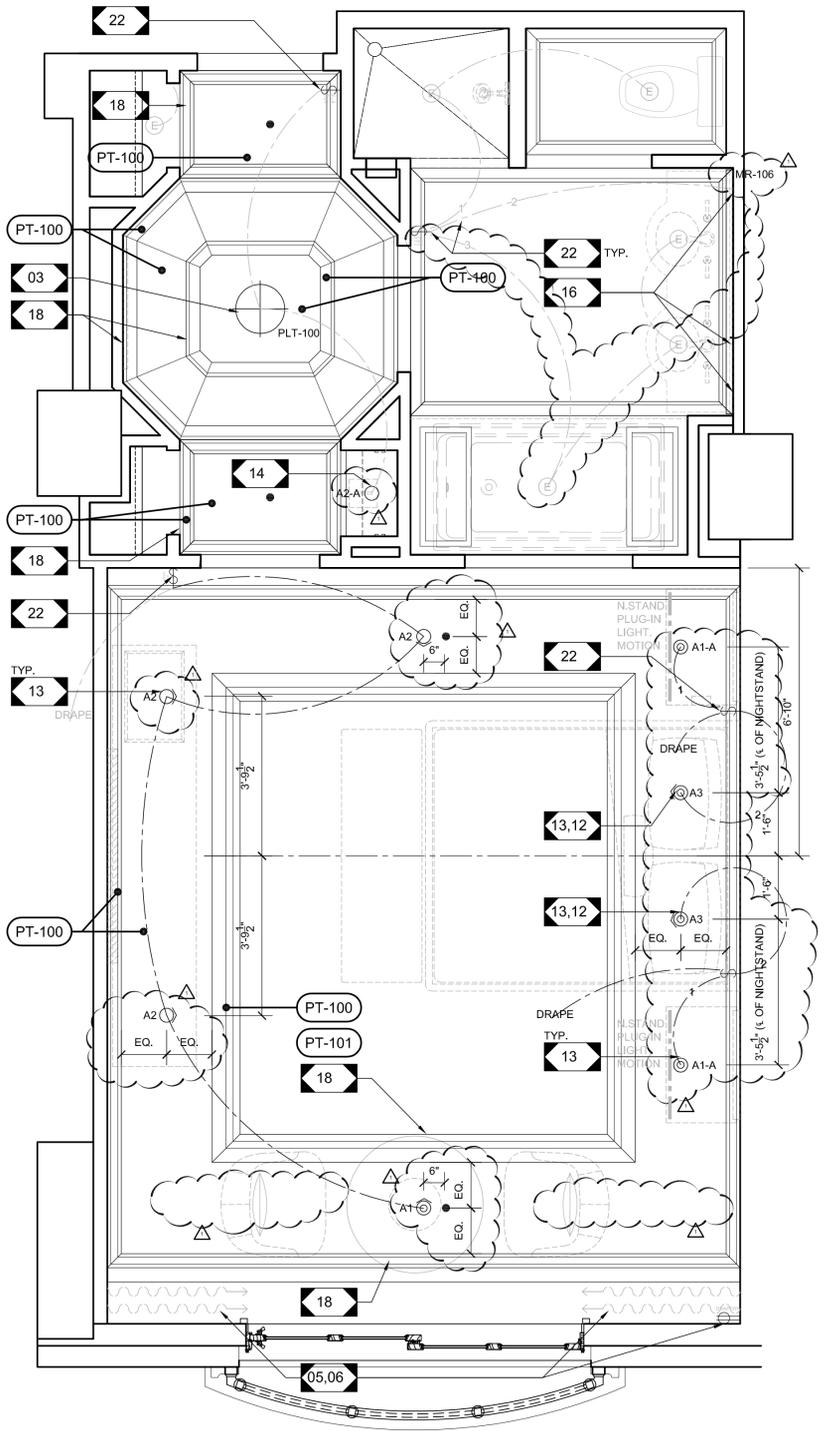
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-104**

**LIGHT FIXTURE LEGEND**

- EXISTING LIGHT FIXTURE
- ⊕ PLT-XX CEILING PENDANT
- ⊕ WSC-XX WALL SCIENCE
- ⊙ A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- ⊙ A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- ⊙ A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- ⊕ NL 6", FF&E NIGHTSTAND NIGHTLIGHT
- ⊕ SWITCH AND/OR CIRCUIT
- ⊕ J-BOX
- ⊕ SPRINKLER



REFLECTED CEILING PLAN - TYPICAL KING  
SCALE: 1/2" = 1'-0" **1**

**REFLECTED CEILING SHEET NOTES**

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
2. ALL CEILING SURFACES TO BE PAINTED, REFER TO FINISH SCHEDULE FOR PAINT INFORMATION ON I-903.
3. PRESERVE AND PROTECT ALL EXISTING EMERGENCY SYSTEM CEILING DEVICES, TYP.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. ALL EXISTING SURFACES OF CEILING, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO FINISH SCHEDULE I-903 FOR SCHEDULED NUMBER OR PRIMER AND FINISH COATS.
6. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN CEILING OR WALLS SHALL BE PAINTED TO MATCH THE SURFACE FINISH. OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING
7. TRIM OF EXISTING DOWNLIGHTS TO BE PAINTED TO MATCH ADJACENT CEILING U.N.O.
8. **GENERAL LIGHTING NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING 'LUMASTREAM' AND 'CONTROL4' LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM. IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.
9. **GENERAL LIGHTING NOTE:** ALL NEW DOWNLIGHTING SHOWN IS TO BE PROVIDED BY OWNER FROM EXISTING INVENTORY. COORDINATE ANY NEW REQUIRED COMPONENTRY WITH OWNER PRIOR TO CONSTRUCTION

**REFLECTED CEILING KEYNOTES**

- 01 -
- 02 -
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 -
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 -
- 08 -
- 09 -
- 10 -
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 13 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 14 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 15 NEW LINE VOLTAGE WALL SCIENCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCENCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 17 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- 18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
- 19 -
- 20 NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 21 NEW 'MODEGREEN' / 'CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCIENCE LIGHTS IN THIS AREA
- 22 EXISTING OR NEW 'CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING 'SCENE' CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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07/25/18	ADDENDUM #1

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DRAWING TITLE  
REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

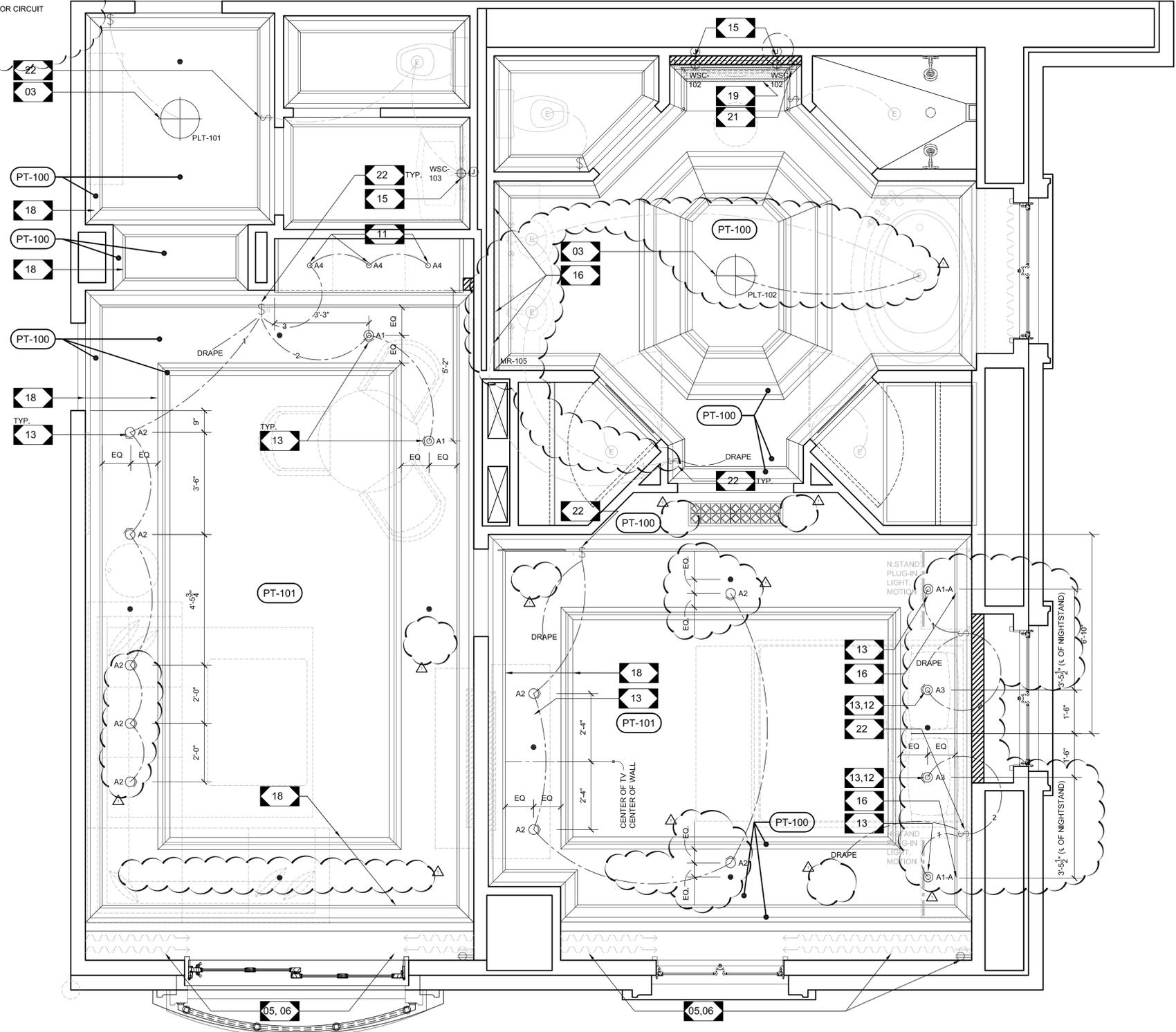
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-200**

**LIGHT FIXTURE LEGEND**

- EXISTING LIGHT FIXTURE
- ⊕ PLT-XX CEILING PENDANT
- ⊕ WSC-XX WALL SCONCE
- ⊙ A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- ⊙ A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- ⊙ A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- ⊕ 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



**REFLECTED CEILING KEYNOTES**

- 01 :
- 02 :
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 :
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- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 :
- 08 :
- 09 :
- 10 :
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
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- 14 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 15 NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 16 NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 17 NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- 18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
- 19 NEW PAINTED CROWN MOLDING TO MATCH EXISTING IN ALL RESPECTS
- 20 NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- 21 NEW 'MODEGREEN / CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCONCE LIGHTS IN THIS AREA
- 22 EXISTING OR NEW 'CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING 'SCENE' CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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DRAWING TITLE  
REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

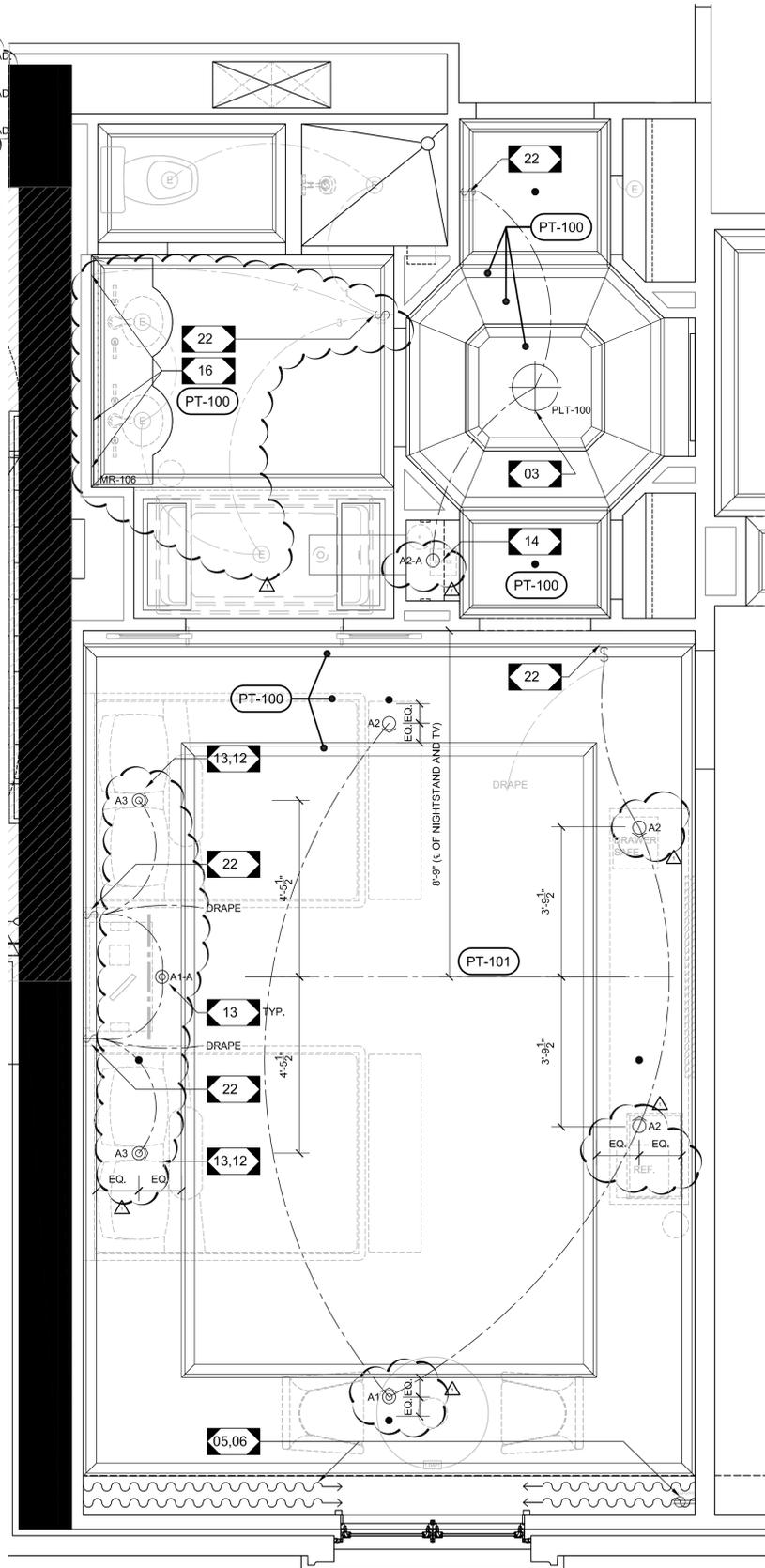
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-201**

**LIGHT FIXTURE LEGEND**

- EXISTING LIGHT FIXTURE
- ⊕ PLT-XX CEILING PENDANT
- ⊕ WSC-XX WALL SCONCE
- ⊙ A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- ⊙ A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60" BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- ⊙ A3 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- ⊕ NL 6", FF&E NIGHTSTAND NIGHTLIGHT SWITCH AND/OR CIRCUIT
- ⊙ J-BOX
- △ SPRINKLER



**REFLECTED CEILING KEYNOTES**

- 01 : .
- 02 : .
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 : .
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 : .
- 08 : .
- 09 : .
- 10 : .
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 13 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- 14 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
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DRAWING TITLE  
**REFLECTED CEILING PLAN**  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

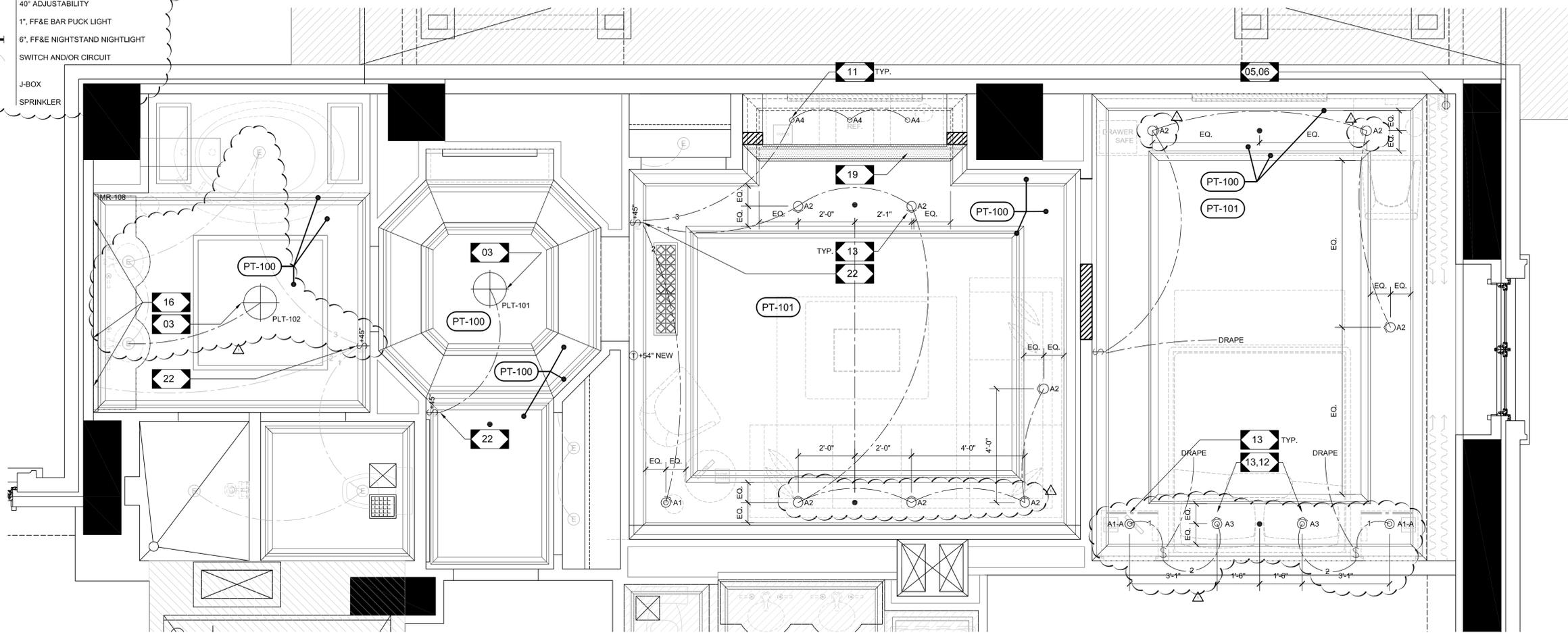
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-202**

**LIGHT FIXTURE LEGEND**

- EXISTING LIGHT FIXTURE
- ⊕ PLT-XX CEILING PENDANT
- ⊕ WSC-XX WALL SCONCE
- ⊙ A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- ⊙ A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- ⊙ A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- ⊕ NL 6", FF&E NIGHTSTAND NIGHTLIGHT
- ⊕ SWITCH AND/OR CIRCUIT
- ⊕ J-BOX
- ⊕ SPRINKLER



REFLECTED CEILING PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0" **1**

**REFLECTED CEILING KEYNOTES**

- 01 -
- 02 -
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04 -
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
- 07 -
- 08 -
- 09 -
- 10 -
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
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- 18 EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-100, TYP.
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DRAWING TITLE  
**REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE**

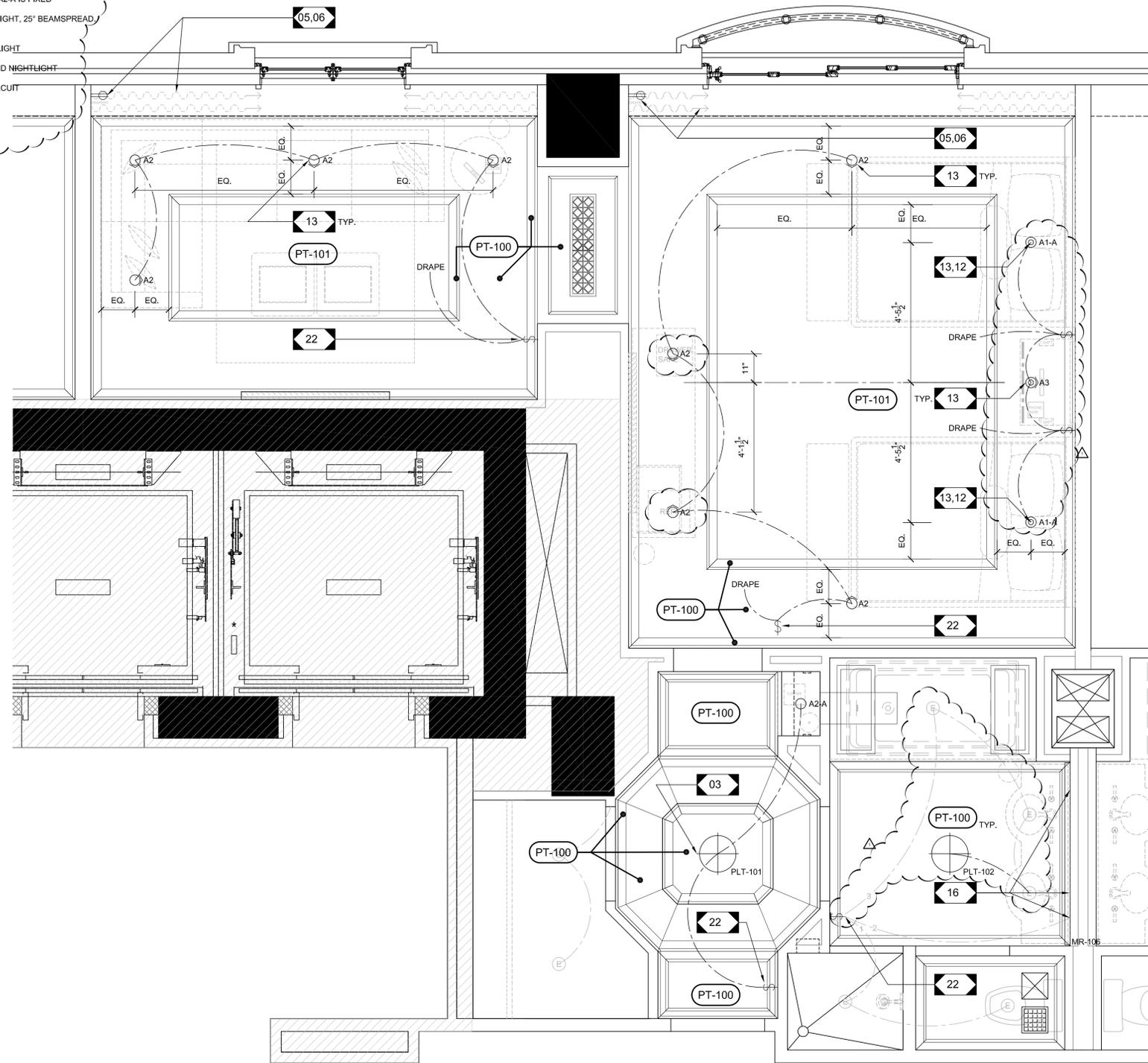
PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-203**

**LIGHT FIXTURE LEGEND**

- EXISTING LIGHT FIXTURE
- ⊕ PLT-XX CEILING PENDANT
- ⊕ WSC-XX WALL SCENCE
- ⊙ A1, A1-A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, A1 IS ADJUSTABLE, A1-A IS FIXED
- ⊙ A2, A2-A 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD, A2 IS ADJUSTABLE, A2-A IS FIXED
- ⊙ A3 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY
- A4 1", FF&E BAR PUCK LIGHT
- ⊕ 6", FF&E NIGHTSTAND NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER



**REFLECTED CEILING KEYNOTES**

- 01
- 02
- 03 NEW LIGHT FIXTURE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- 04
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- 06 NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED
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- 08
- 09
- 10
- 11 INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- 12 LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- 13 NEW LIGHT FIXTURE IN NEW LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
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- 15 NEW LINE VOLTAGE WALL SCENCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCENCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
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- 19
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- 21 NEW 'MODEGREEN / CONTROL4' SWITCH FOR INDEPENDENT CONTROL OF SCENCE LIGHTS IN THIS AREA
- 22 EXISTING OR NEW 'CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING 'SCENE' CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION

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88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

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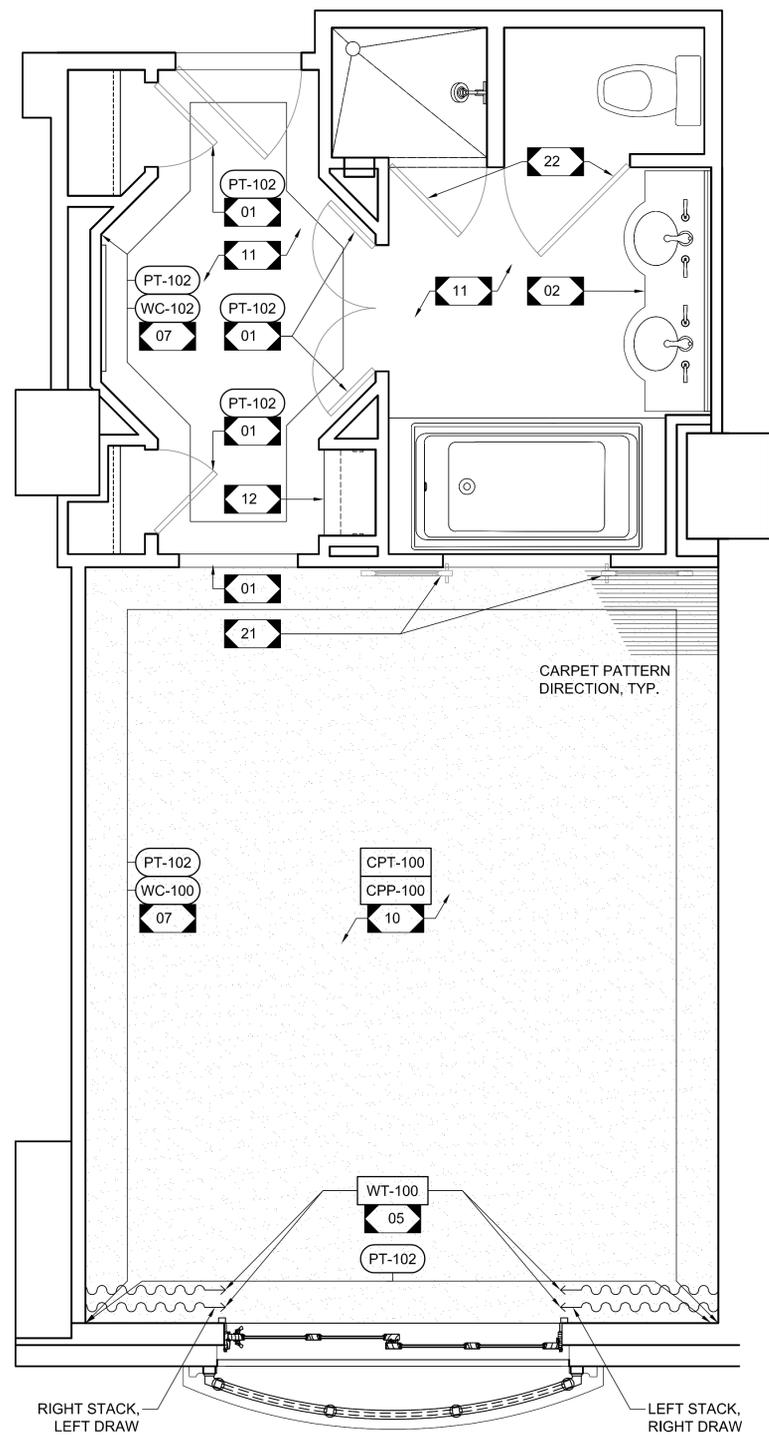
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DRAWING TITLE  
REFLECTED CEILING PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-204**



**CONSTRUCTION SHEET NOTES**

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION, TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO DRAWING I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
10. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
11. PROTECT ALL EXISTING MOLDING, AND BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
12. ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
13. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

**CONSTRUCTION KEYNOTES**

- 01 NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03 NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04 -
- 05 NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06 -
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09 NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 -
- 14 -
- 15 -
- 16 -
- 17 -
- 18 -
- 19 -
- 20 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 21 NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR

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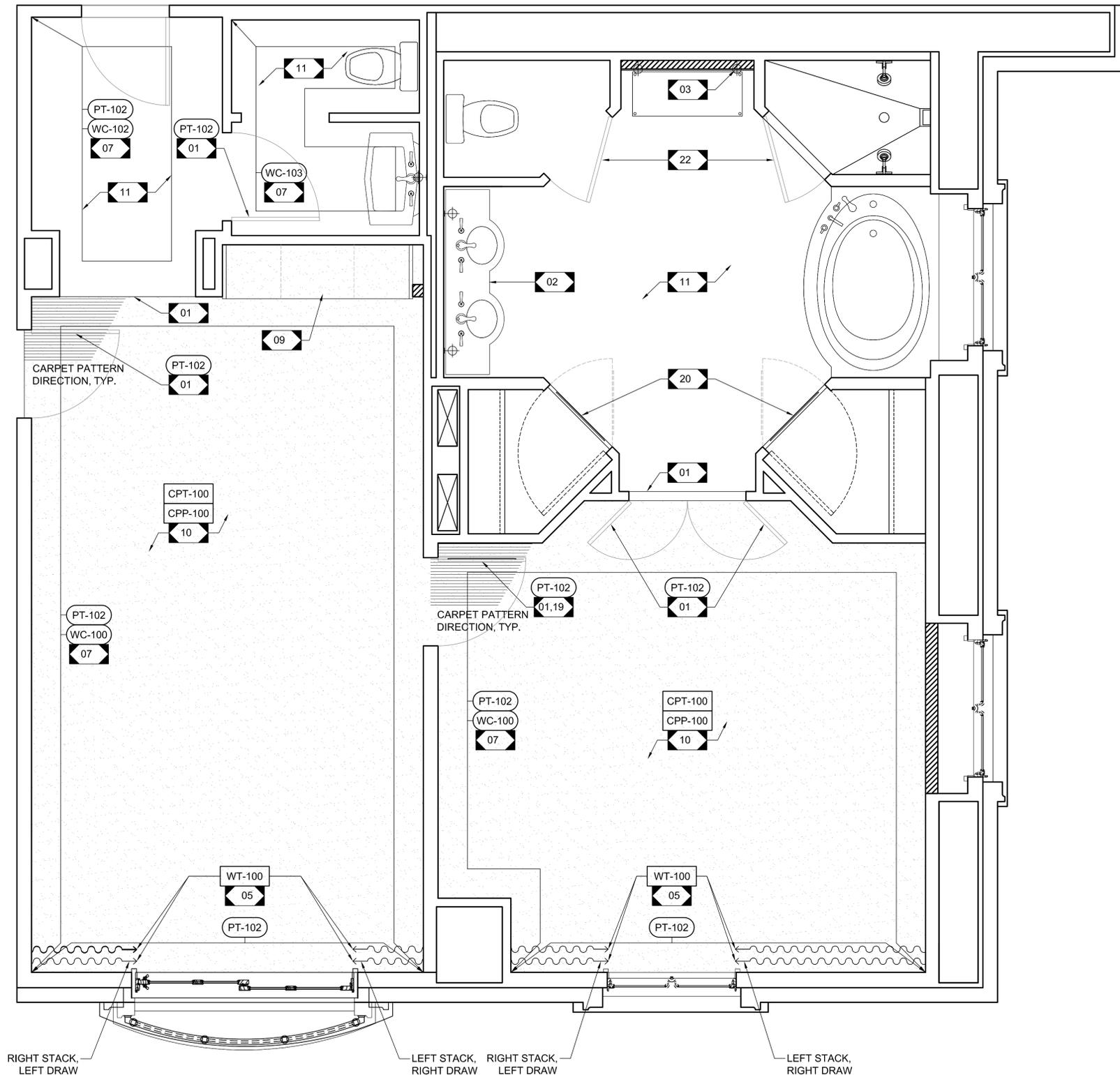
DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-300**



**CONSTRUCTION KEYNOTES**

- 01 NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- 03 NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04 -
- 05 NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06 -
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09 NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 -
- 14 -
- 15 -
- 16 -
- 17 -
- 18 -
- 19 NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 20 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
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- 22 EXISTING GLASS DOOR

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Joseph E. Rabun, AIA

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**ST. REGIS GUESTROOM RENOVATIONS**  
 88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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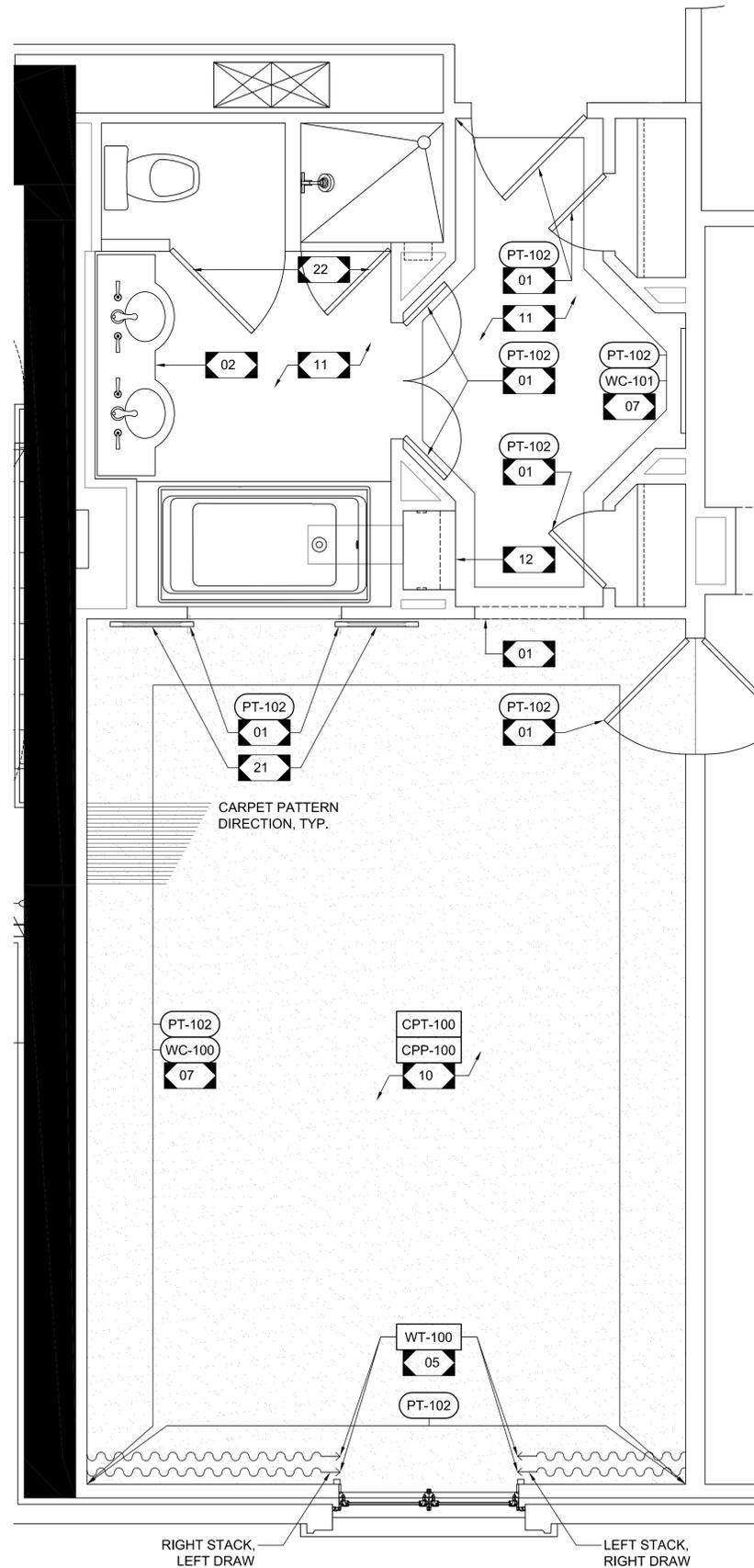
DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-301**



FINISH PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0" **1**

**CONSTRUCTION KEYNOTES**

- 01** NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
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- 03** NEW 1" BEVELED, 3/4" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
- 04** -
- 05** NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- 06** -
- 07** NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08** NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
- 09** NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10** NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-A-903.
- 11** EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12** EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13** -
- 14** -
- 15** -
- 16** -
- 17** -
- 18** -
- 19** -
- 20** RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
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- 22** EXISTING GLASS DOOR

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DRAWING TITLE

FINISH PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-302**

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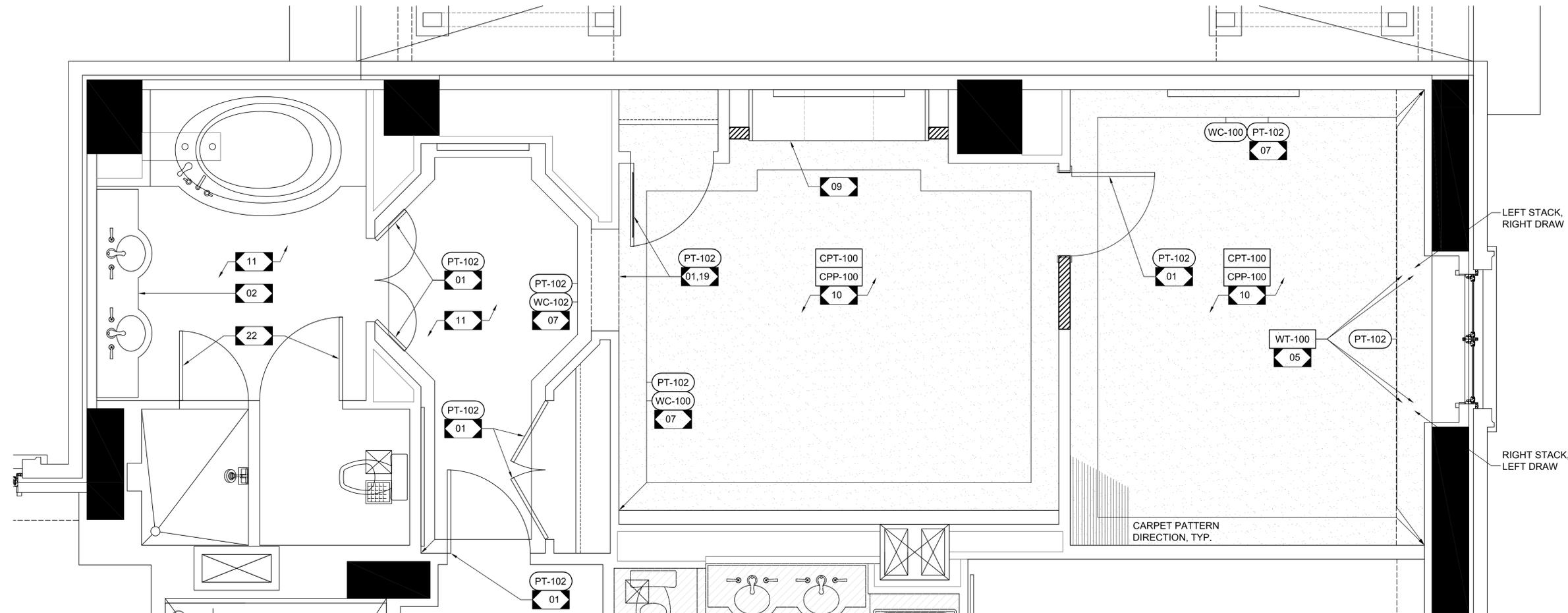
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LEFT STACK,  
RIGHT DRAW

RIGHT STACK,  
LEFT DRAW

CARPET PATTERN  
DIRECTION, TYP.

ST. REGIS GUESTROOM RENOVATIONS  
88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

FINISH PLAN - JUNIOR SUITE  
SCALE: 1/2" = 1'-0" **1**

**CONSTRUCTION KEYNOTES**

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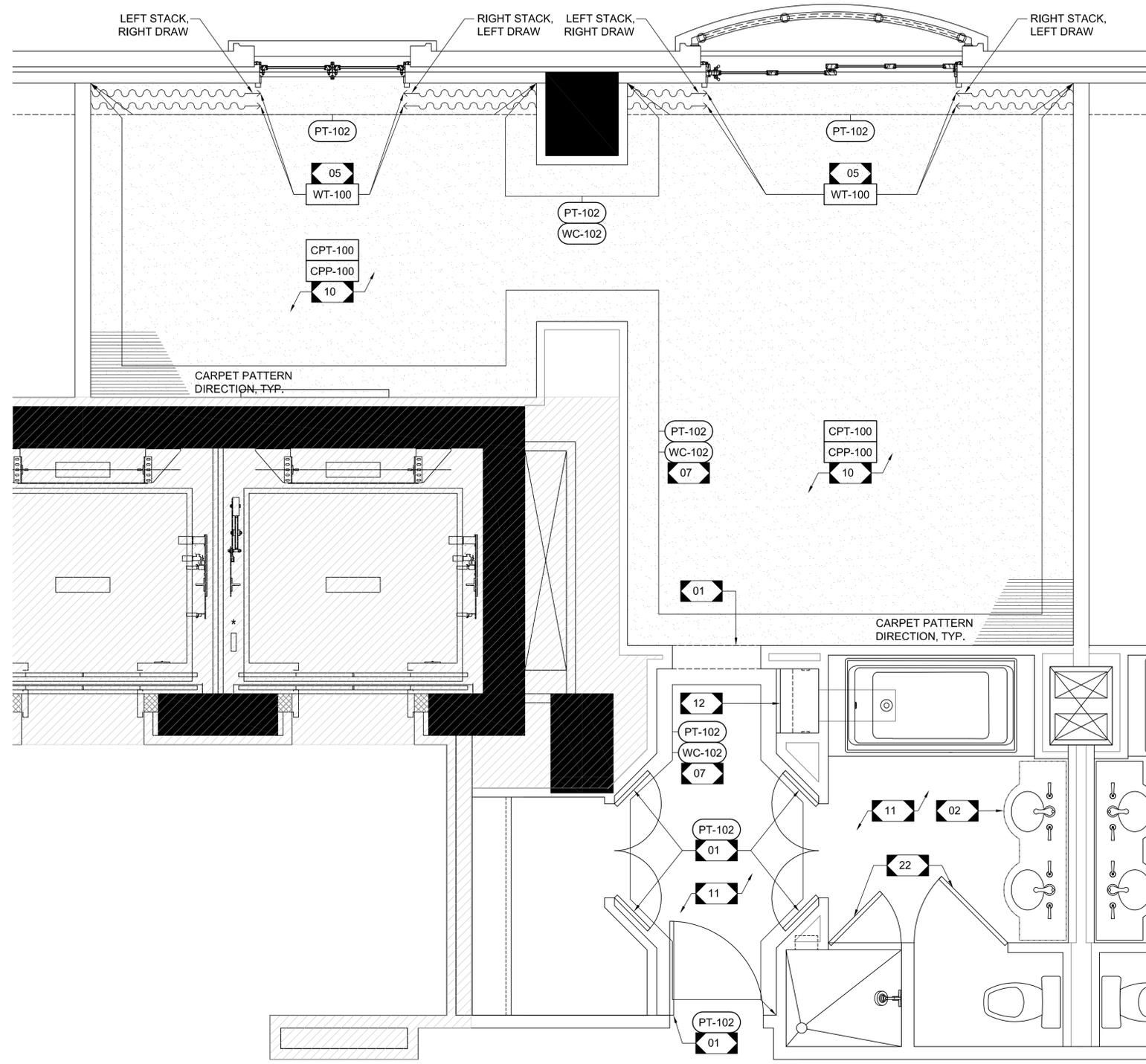
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DRAWING TITLE  
FINISH PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-303**



**CONSTRUCTION KEYNOTES**

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- 22 EXISTING GLASS DOOR

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DRAWING TITLE  
**FINISH PLAN**  
**GUEST ROOM RENOVATION**  
**JUNIOR SUITE**

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-304**











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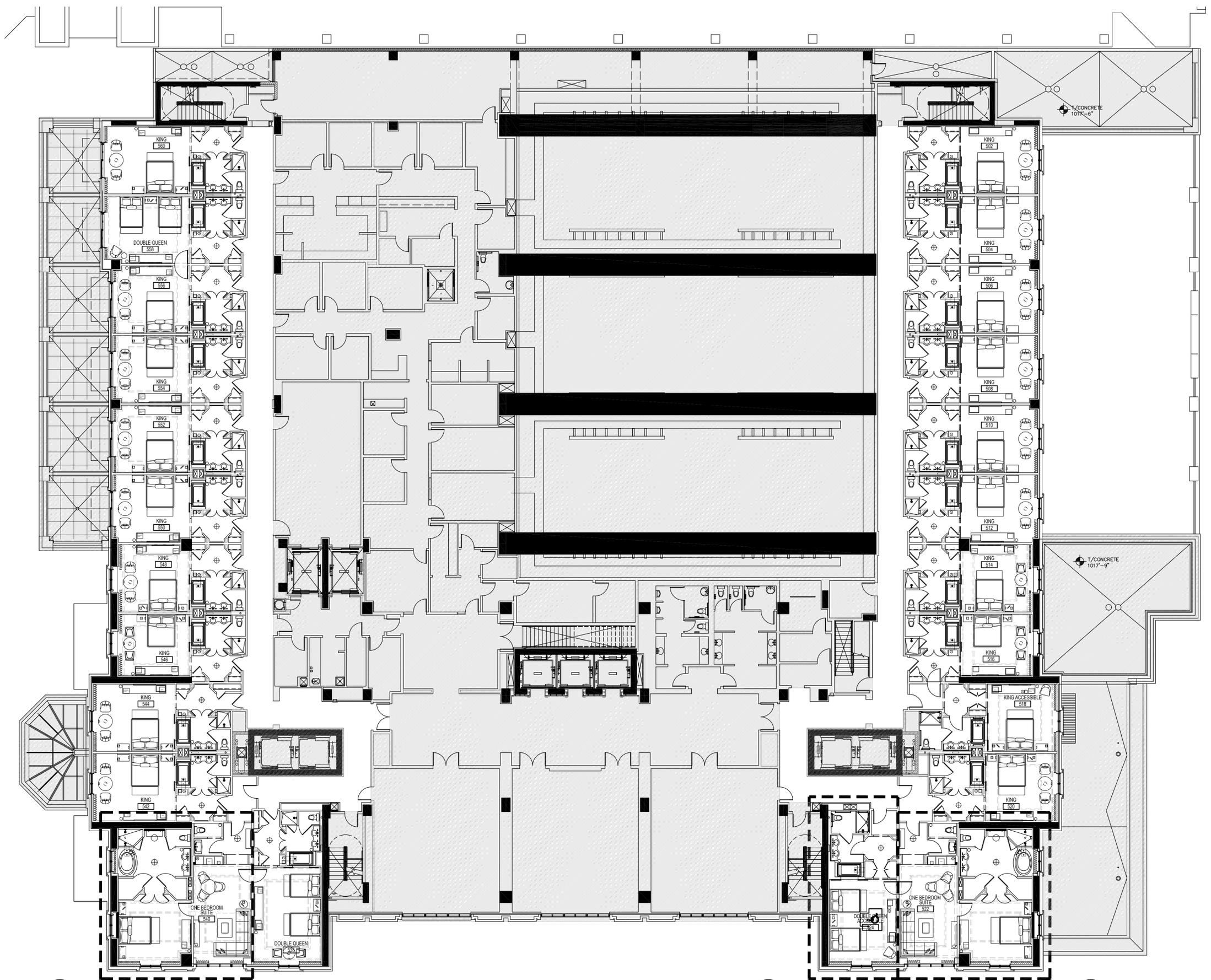
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**DRAWING TITLE**  
OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 5

PROJECT NUMBER 1714.00

DATE 4/16/2018

SHEET NUMBER **I-500**



SIM. 1-501A  
OPP. HAND

SIM. 1-502A

SIM. 1-501A

**LEVEL 5 FURNITURE PLAN**  
SCALE: 3/32"=1'-0"

**SHEET NOTES:**

- 1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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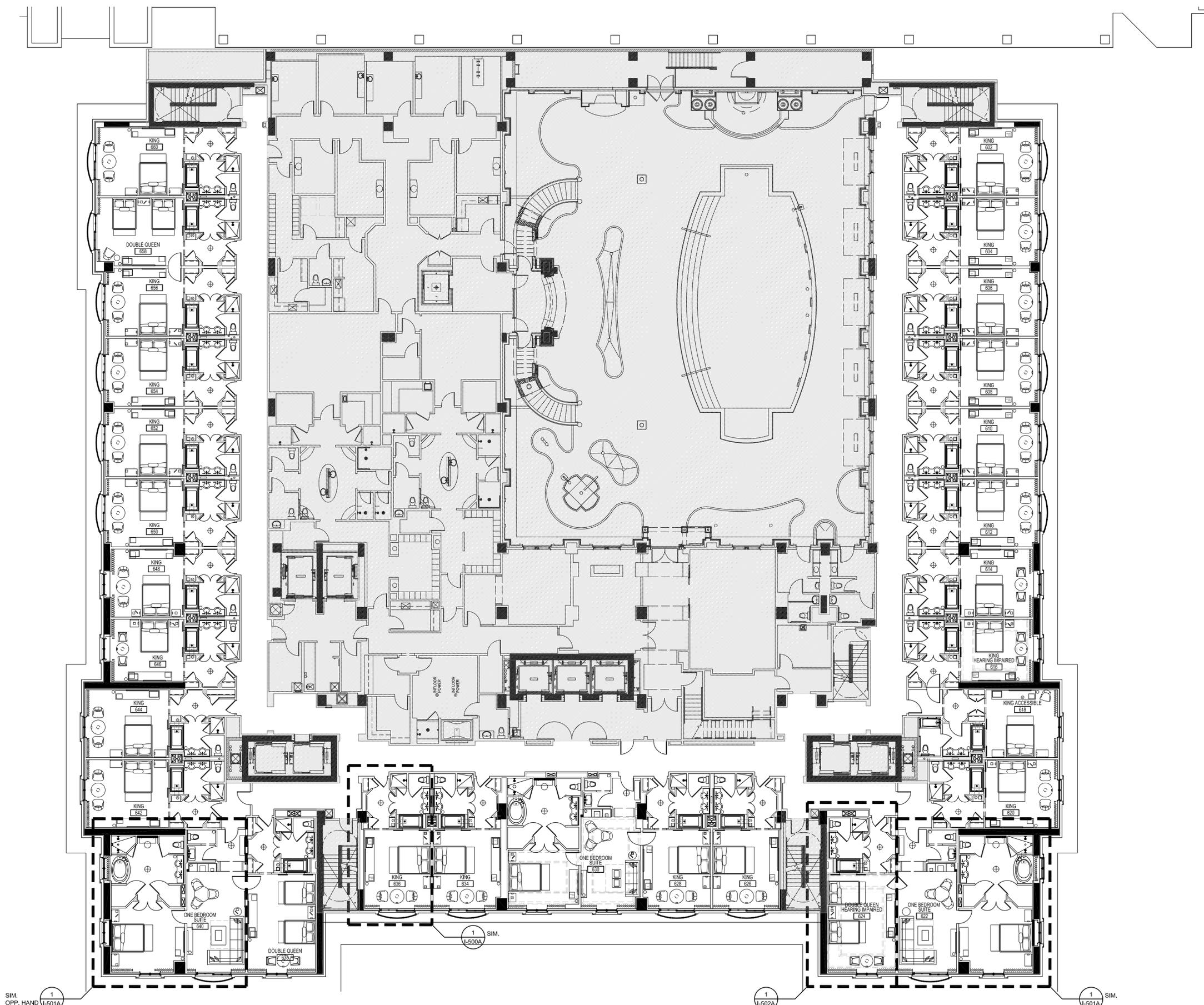
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DRAWING TITLE  
**OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 6**

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-501**



SIM. OPP. HAND 1 I-501A

**LEVEL 6 FURNITURE PLAN**  
SCALE: 3/32"=1'-0"

1 I-502A SIM.

1 I-501A SIM.

**SHEET NOTES:**

- 1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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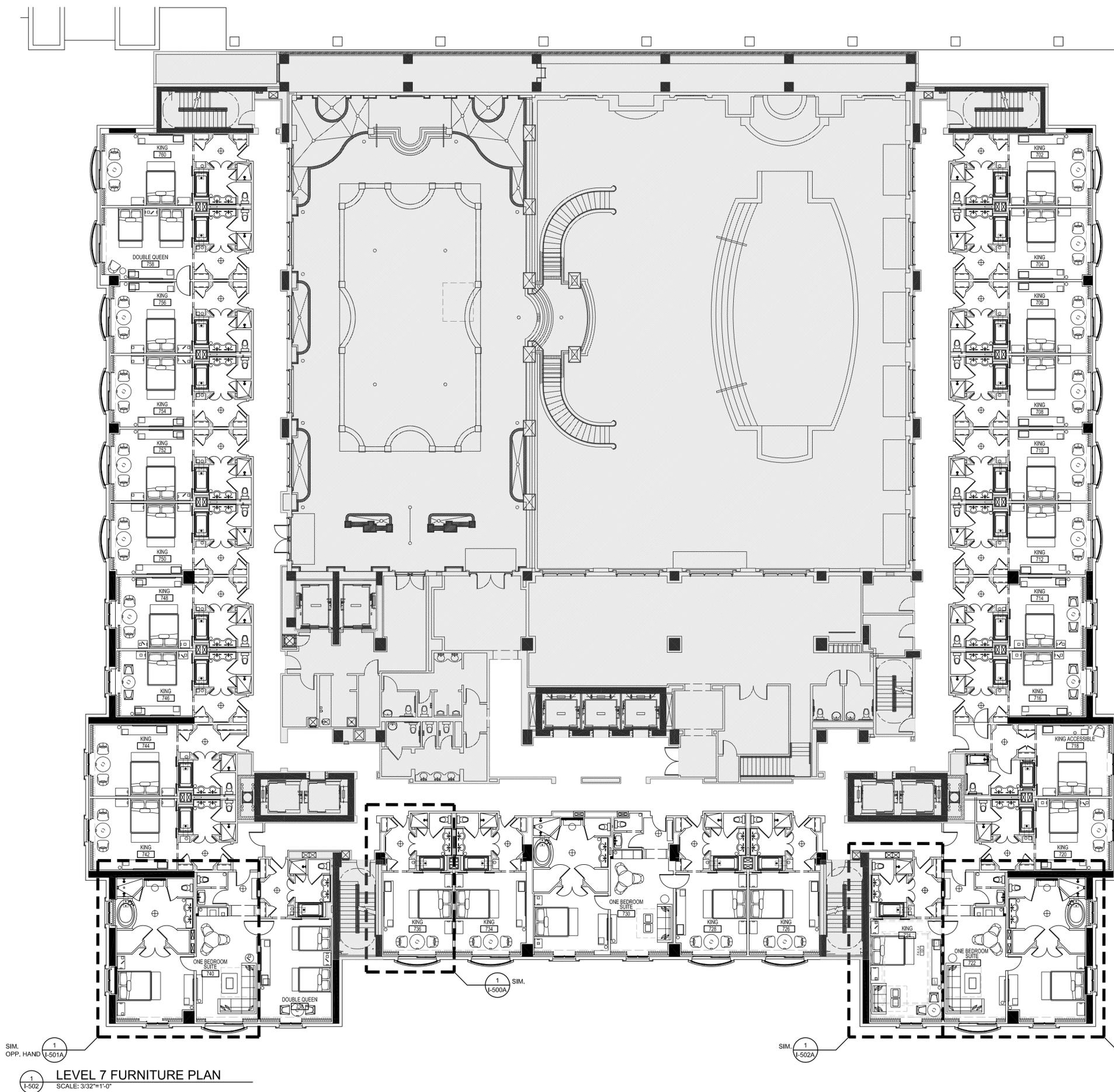
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DRAWING TITLE  
**OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 7**

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-502**



SIM. OPP. HAND  
1-501A  
1-502

**LEVEL 7 FURNITURE PLAN**  
SCALE: 3/32"=1'-0"

1-502A  
SIM.

1-501A  
SIM.

**SHEET NOTES:**

- 1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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DRAWING TITLE  
**OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 8**

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-503**



In front foyer  
two sconce  
lights were  
removed  
and cased  
opening is  
making front  
foyer dark.  
add a  
second  
light? we  
should  
discuss

RELOCATE  
BEDROOM  
FURNITURE  
FROM THIS  
LOCATION

RELOCATE  
BEDROOM  
FURNITURE  
FROM THIS  
LOCATION

SIM. OPP. HAND 1-501A

1-503 LEVEL 8 FURNITURE PLAN  
SCALE: 3/32"=1'-0"

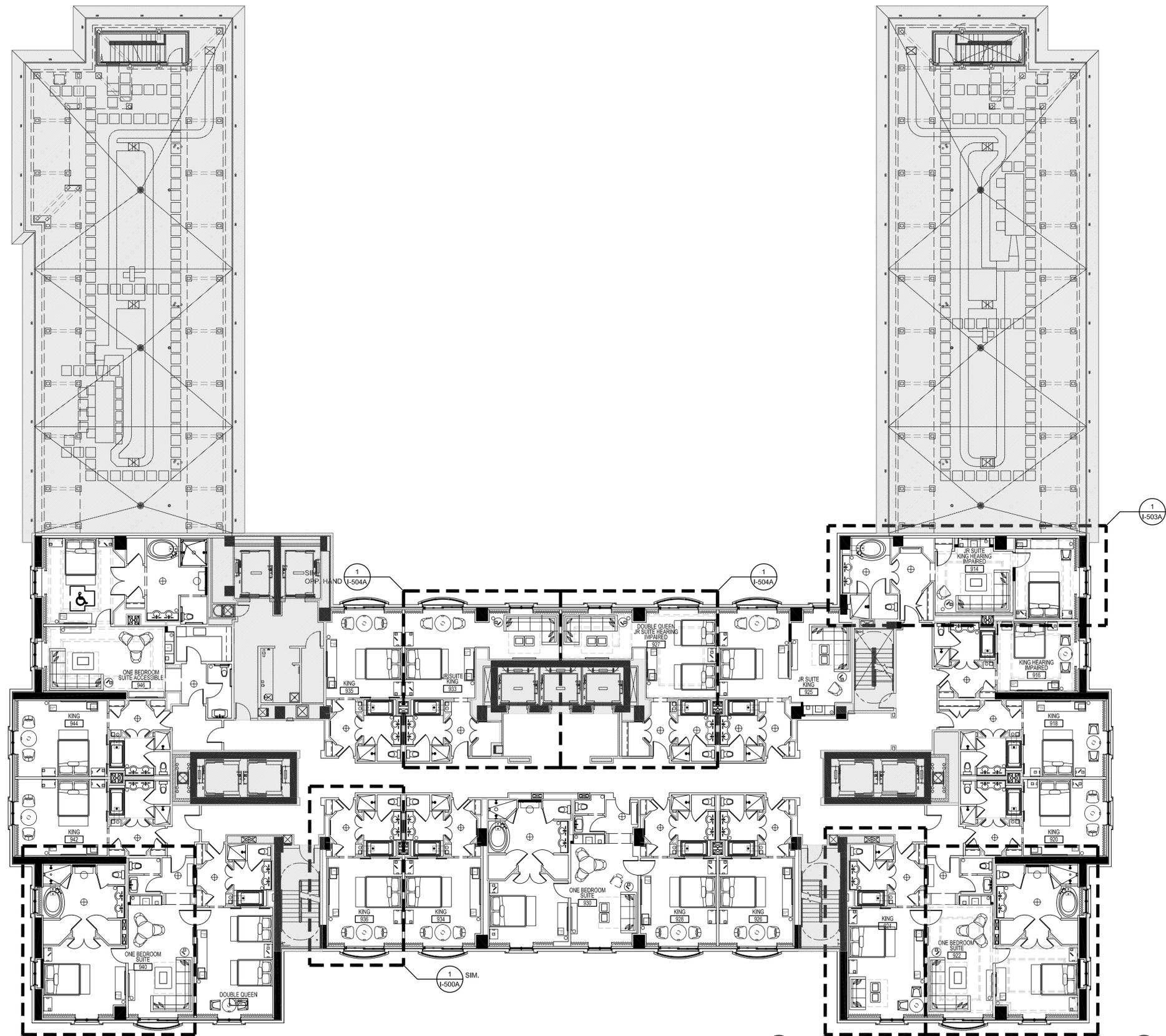
1-500A SIM.

SIM. 1-502A

1-501A SIM.

SHEET NOTES:

1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.



1 I-504  
 SIM. OPP. HAND 1 I-501A  
**LEVEL 9 FURNITURE PLAN**  
 SCALE: 3/32"=1'-0"

1 I-501A  
 SIM.  
**SHEET NOTES:**  
 1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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**ST. REGIS GUESTROOM RENOVATIONS**  
 88 WEST PACES FERRY ROAD ATLANTA, GEORGIA

REVISIONS

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**DRAWING TITLE**  
 OVERALL GUESTROOM & STANDARD SUITES FURNITURE PLAN LEVEL 9

**PROJECT NUMBER** 1714.00

**DATE** 04/16/2018

**SHEET NUMBER** **I-504**

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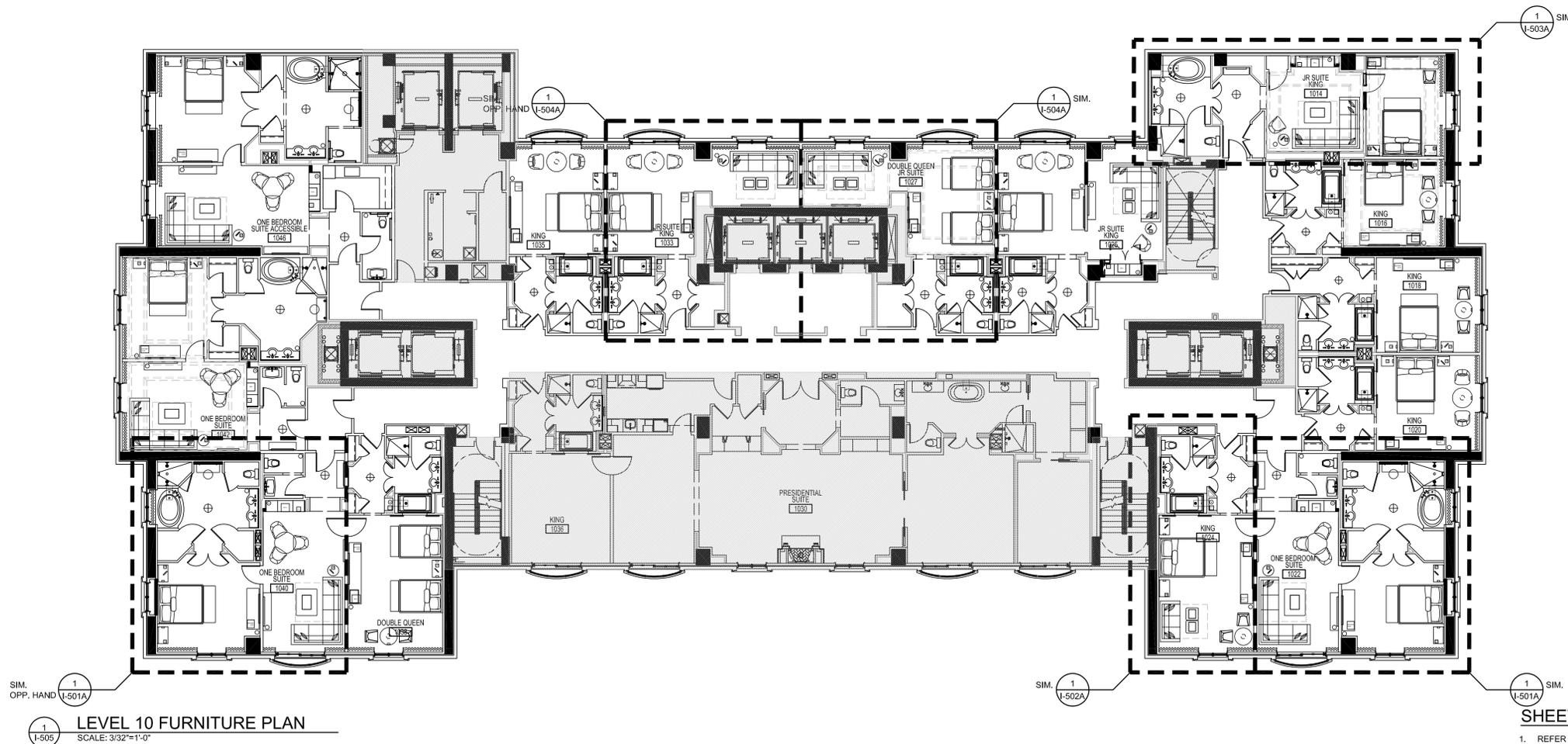
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DRAWING TITLE  
**OVERALL GUESTROOM &  
STANDARD SUITES  
FURNITURE PLAN  
LEVEL 10**

PROJECT NUMBER 1714.00

DATE 3/14/2018

SHEET NUMBER **I-505**

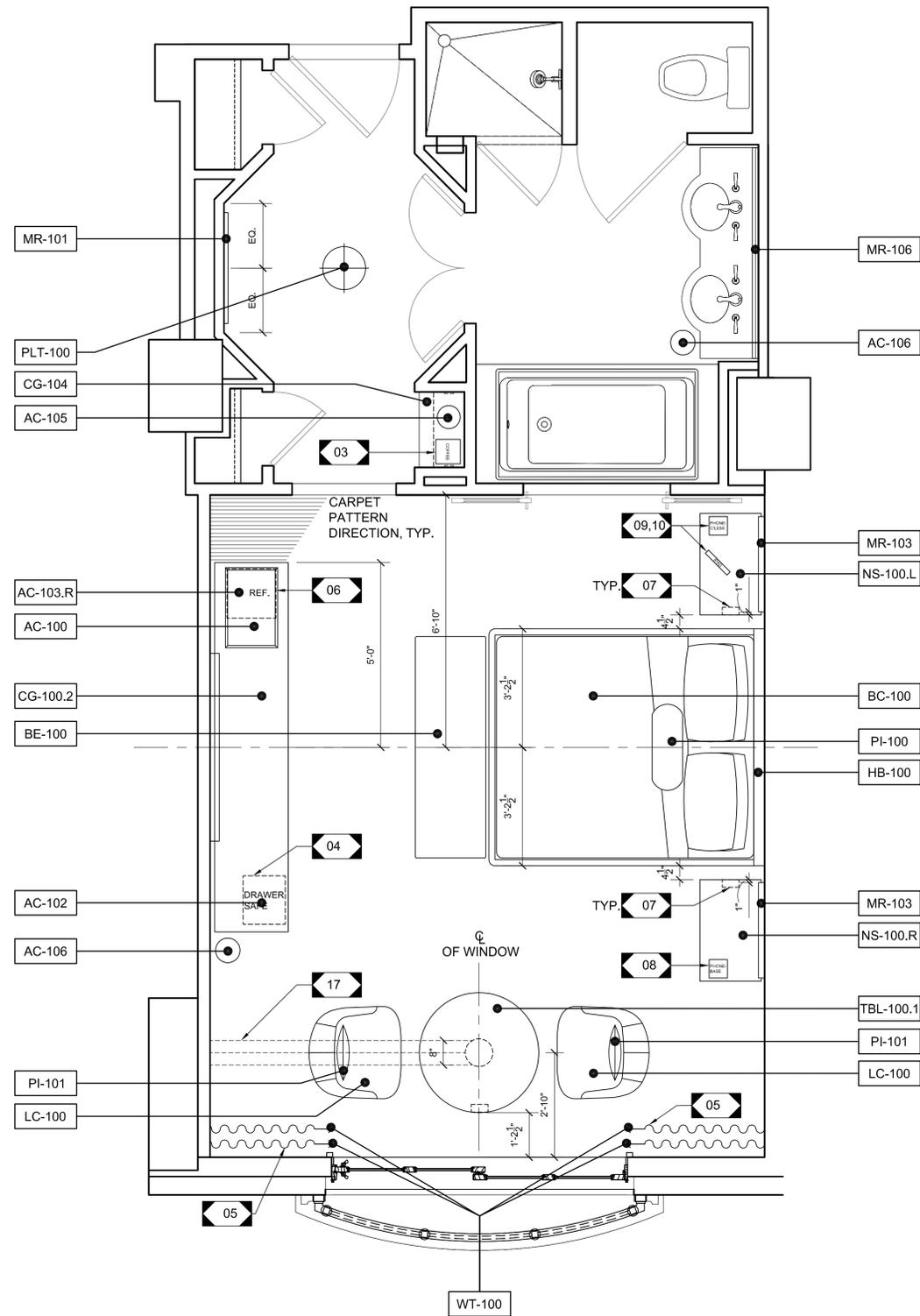


**LEVEL 10 FURNITURE PLAN**

SCALE: 3/32"=1'-0"

**SHEET NOTES:**

- 1. REFER TO CODE FURNITURE PLANS INCLUDED IN FF&E SPECIFICATIONS FOR ADDITIONAL INFORMATION.



**FF+E SHEET NOTES**

1. REFER TO FF+E SCHEDULE AND SPECIFICATIONS FOR FF+E KEYED NOTE DESCRIPTIONS INCLUDING NEW LIGHT FIXTURES.
2. TV, AUDIO VISUAL AND PERSONAL CONNECTIVITY EQUIPMENT BY OWNER.
3. REFER TO ELEVATIONS ON I-E-601 FOR MOUNTING LOCATIONS OF ARTWORK AND MIRRORS.

**FF+E KEYNOTES**

- 01 -
- 02 -
- 03 COFFEE MACHINE LOCATION
- 04 DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 "PLUG END" "TELEADAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 PHONE BASE LOCATION
- 09 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 I-PAD DEVICE
- 11 -
- 12 -
- 13 -
- 14 -
- 15 -
- 16 -
- 17 'STEELCASE' 'THREAD' FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.C. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
- 18 -
- 19 -
- 20 -
- 21 -
- 22 -

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DRAWING TITLE  
FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL KING

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-500A**

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DRAWING TITLE  
FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL SUITE

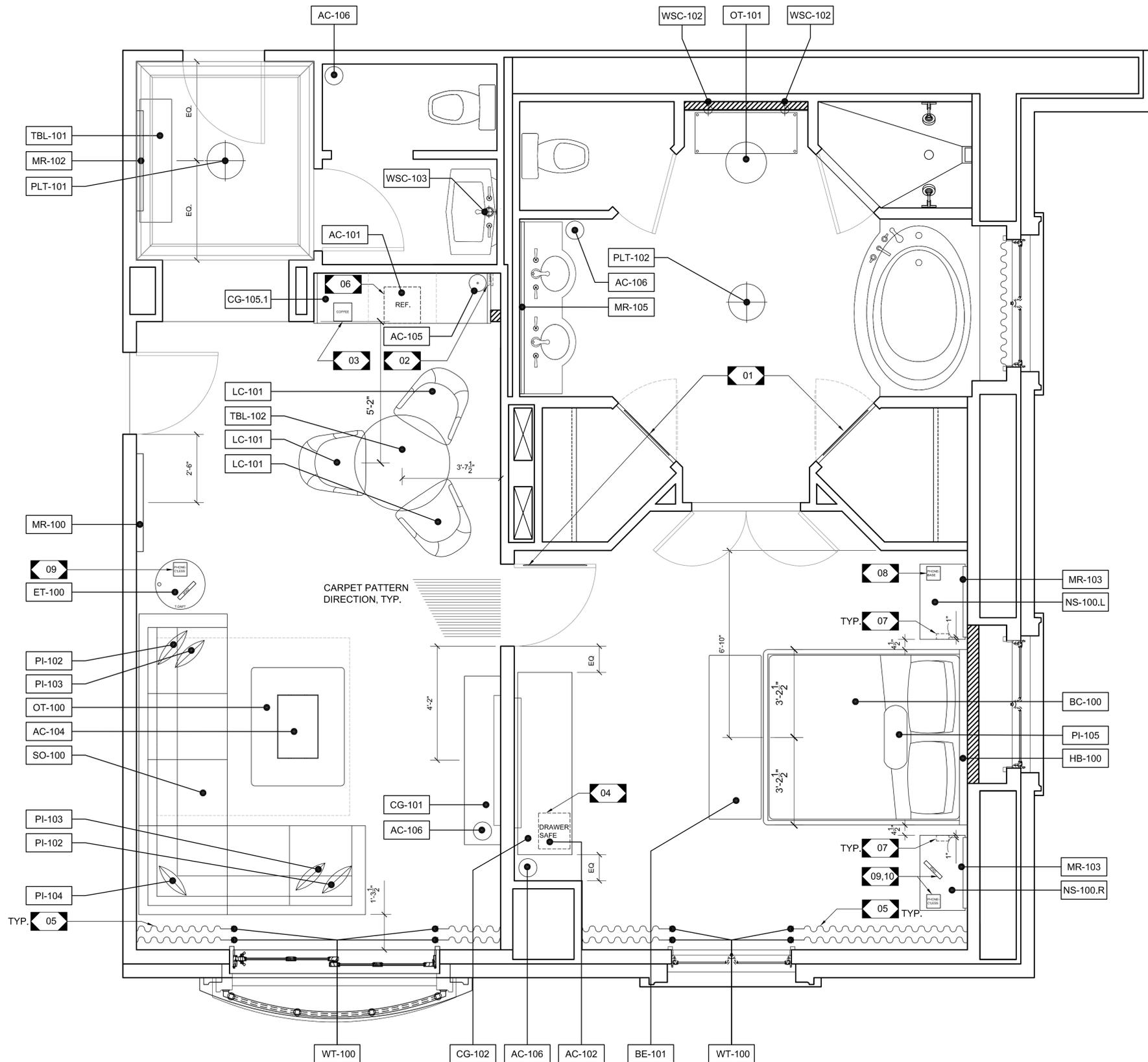
PROJECT NUMBER 1714.00

DATE 04/16/2018

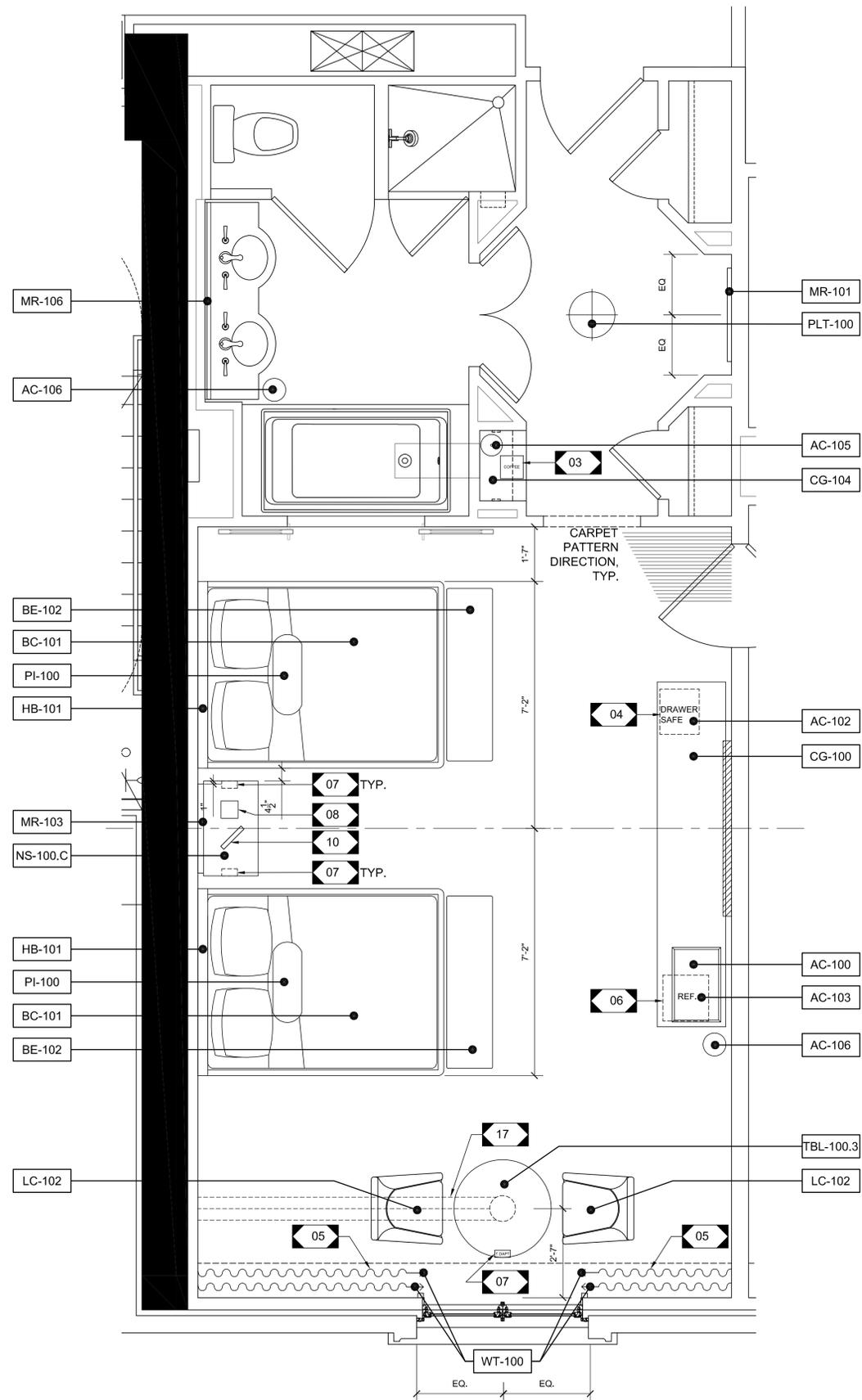
SHEET NUMBER **I-501A**

**FF+E KEYNOTES**

- 01 INSET 1/2" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD
- 02 "PLUG END" TELEADPT POWER / USB HUB SUPPLIED AS PART OF MILLWORK ITEM. REFER TO MILLWORK SHOP DRAWINGS FOR MORE INFORMATION
- 03 COFFEE MACHINE LOCATION
- 04 DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 06 NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 07 "PLUG END" TELEADPT POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 PHONE BASE LOCATION
- 09 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 I-PAD DEVICE
- 11
- 12
- 13
- 14
- 15
- 16
- 17 'STEELCASE' 'THREAD'. FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.G. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
- 18
- 19
- 20
- 21
- 22



FURNITURE PLAN - TYPICAL SUITE  
SCALE: 1/2" = 1'-0"



FURNITURE PLAN - TYPICAL DOUBLE QUEEN  
SCALE: 1/2" = 1'-0" **1**

**FF+E KEYNOTES**

- 01 -
- 02 -
- 03 COFFEE MACHINE LOCATION
- 04 DRAWER SAFE, SAFEMARK MODEL DN 5.4, G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
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- 08 PHONE BASE LOCATION
- 09 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
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- 18 -
- 19 -
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- 21 -
- 22 -

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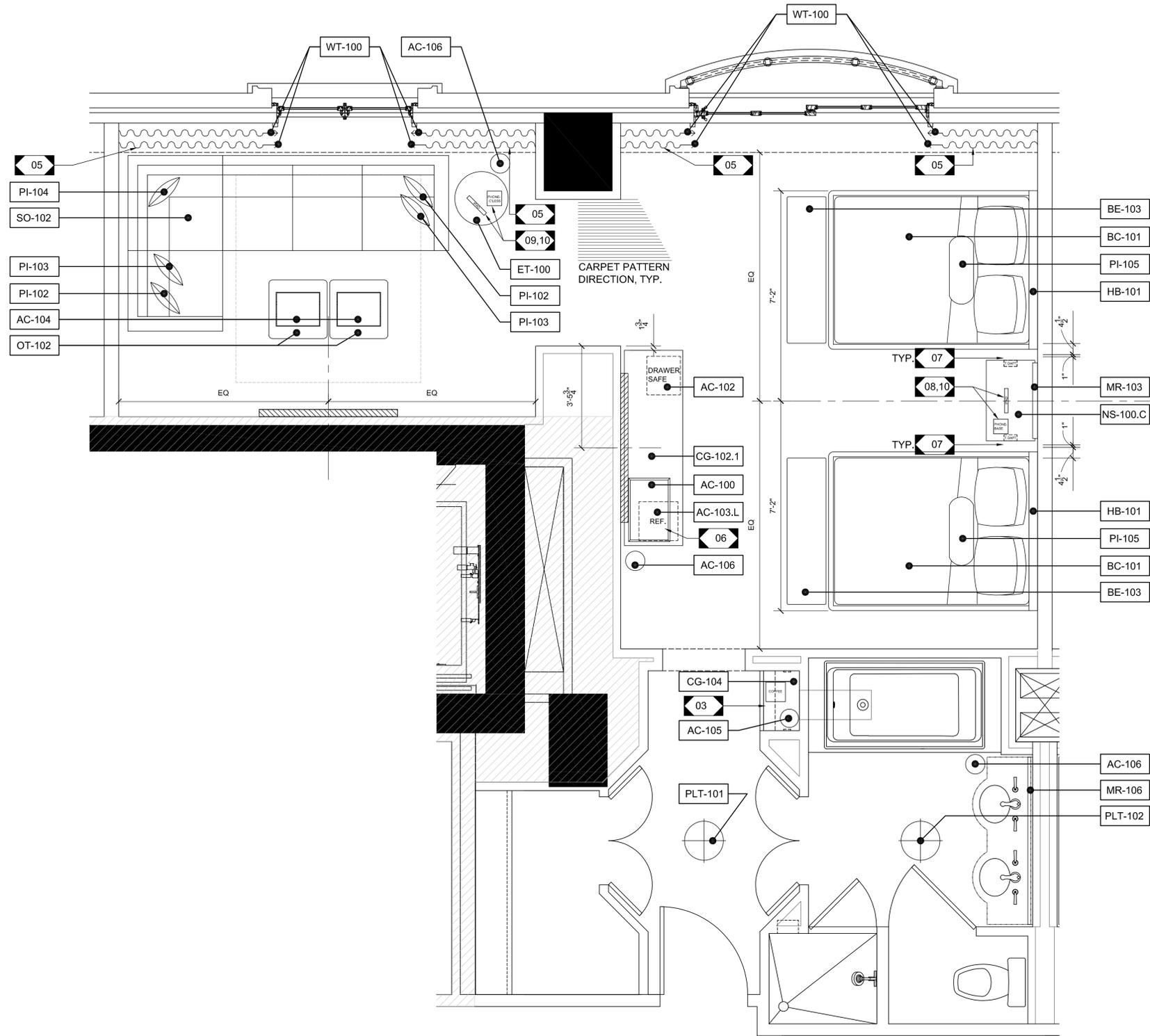
DRAWING TITLE  
FURNITURE PLAN  
GUEST ROOM RENOVATION  
TYPICAL QUEEN

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **I-502A**





**FF+E KEYNOTES**

- 01 -
- 02 -
- 03 - COFFEE MACHINE LOCATION
- 04 - DRAWER SAFE. SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 05 - NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH EXISTING TRACK HOOKS AND MOTOR TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
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- 07 - "PLUG END" TELEDAPT POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 08 - PHONE BASE LOCATION
- 09 - PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 10 - I-PAD DEVICE
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- 16 -
- 17 - 'STEELCASE', 'THREAD', FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.C. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
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DRAWING TITLE  
FURNITURE PLAN  
GUEST ROOM RENOVATION  
JUNIOR SUITE

PROJECT NUMBER 1714.00

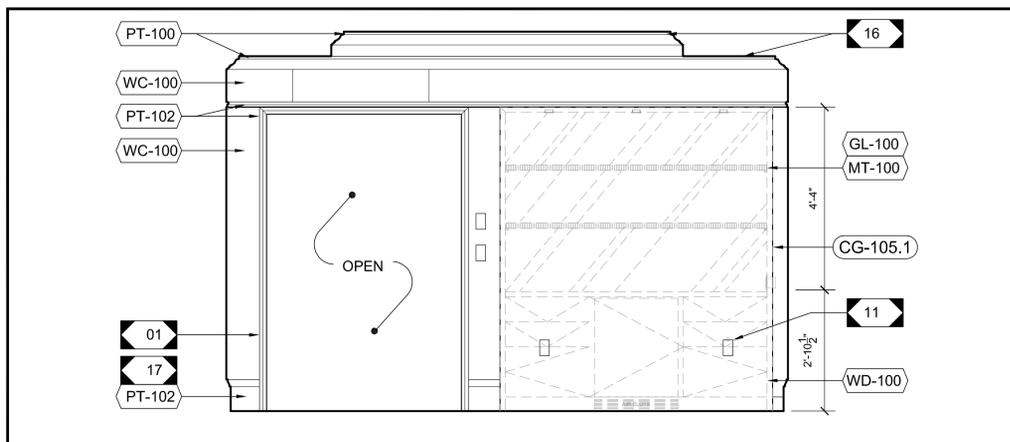
DATE 04/16/2018

SHEET NUMBER **I-504A**

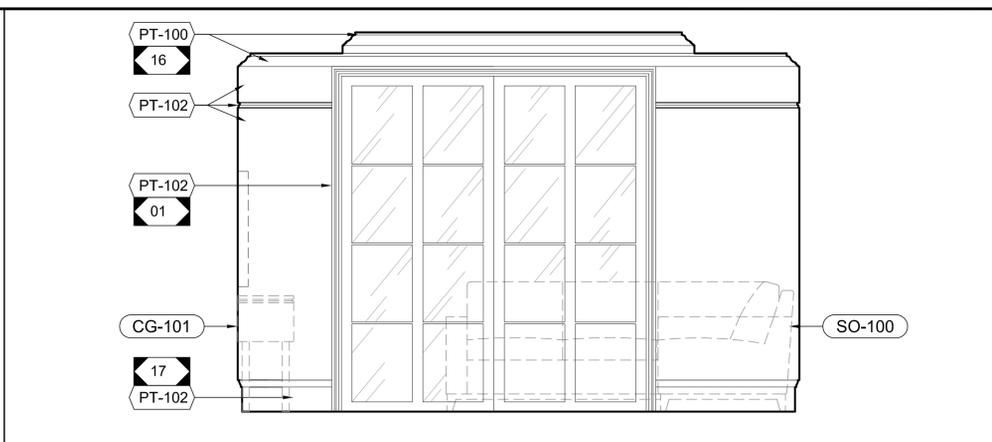




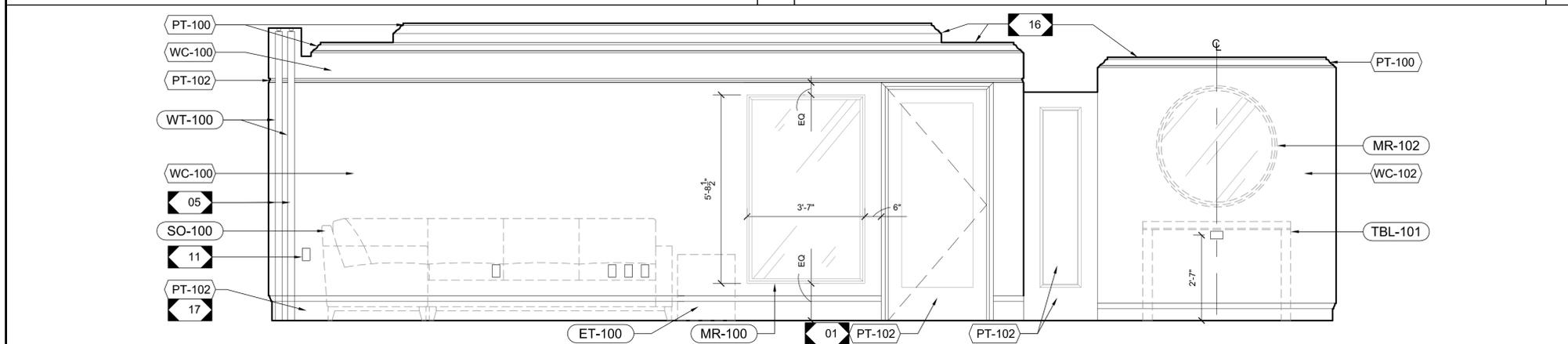




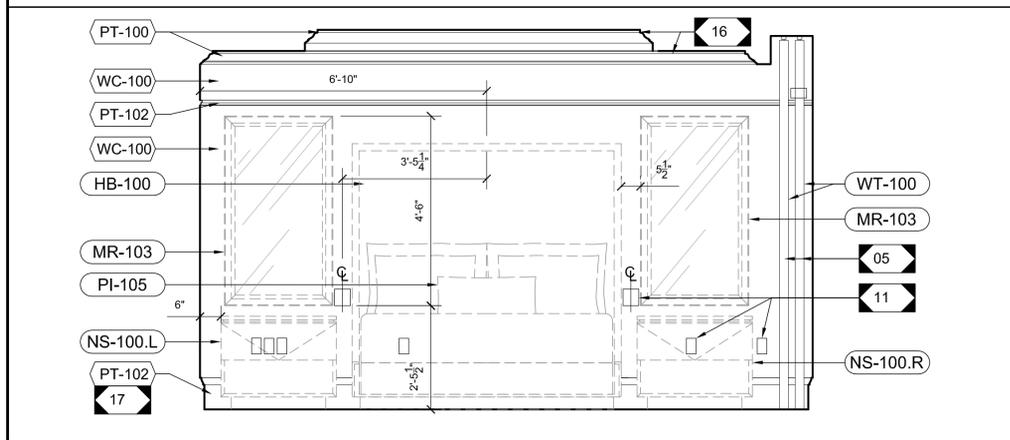
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0" **1**



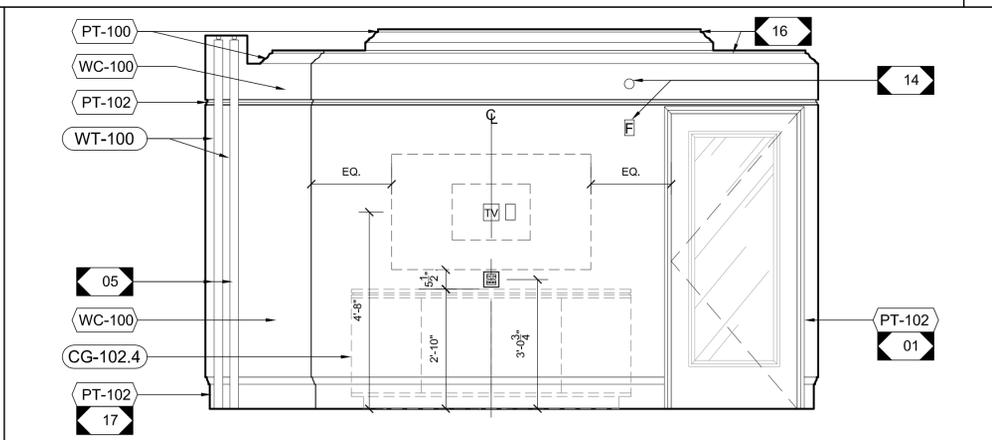
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0" **2**



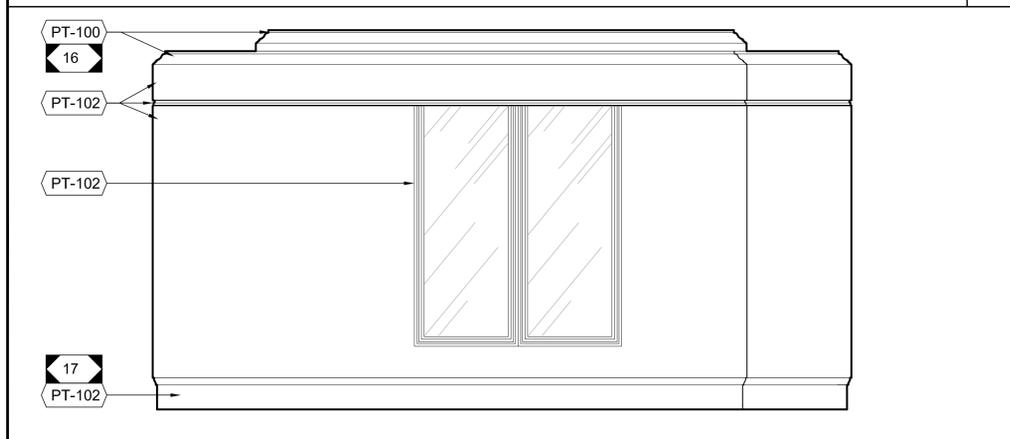
SUITE ROOM - TYPICAL LIVING ROOM ELEVATION  
SCALE: 1/2" = 1'-0" **3**



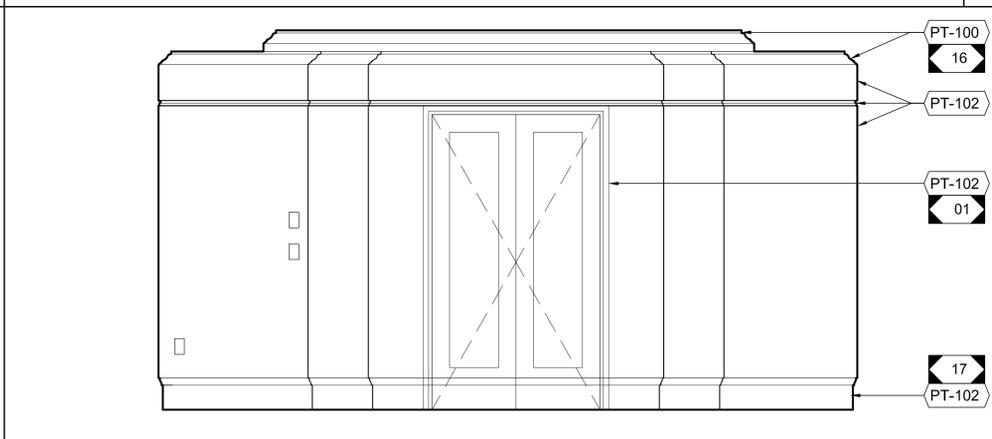
SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0" **4**



SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0" **5**



SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0" **6**



SUITE ROOM - TYPICAL BEDROOM ELEVATION  
SCALE: 1/2" = 1'-0" **7**

**ELEVATION SHEET NOTES**

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBTURSCURED BY PAINT AND SHALL BE FUNCTIONING.
- REFER TO FF+E PLANS AND SPECIFICATION FOR ALL FF+E ITEMS. FF+E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
- EXISTING POWER AND/OR DATA PORTS, WINDOWS, SILLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

**ELEVATION KEYNOTES**

- 01** EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02** EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET. REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.
- 03** EXISTING CLOSET SHELF AND ROD
- 04** REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED
- 05** NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06** NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
- 07** NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08** NEW GYPSUM BOARD ON METAL STUD FRAMING.
- 09** NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10** EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCNCE LIGHTS
- 11** OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT
- 12** EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL
- 13** EXISTING OUTLET
- 14** EXISTING FIRE STROBE OR SMOKE DETECTOR
- 15** NEW ELECTRIC MIRROR
- 16** EXISTING CROWN MOLDING TO REMAIN. CLEAN AND REFURBISH. PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.
- 17** EXISTING WOOD OR TILE BASE TO REMAIN. CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION
- 18** EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.
- 19** EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
- 20** EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
- 21** NEW BEVELED MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED.
- 22** EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23** EXISTING WALL MOUNTED PHONE
- 24** AREA OF NEW BASE TO MATCH EXISTING
- 25** RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 26** NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27** NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO

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DRAWING TITLE  
TYPICAL KING SUITE  
ELEVATIONS

PROJECT NUMBER 1714.00

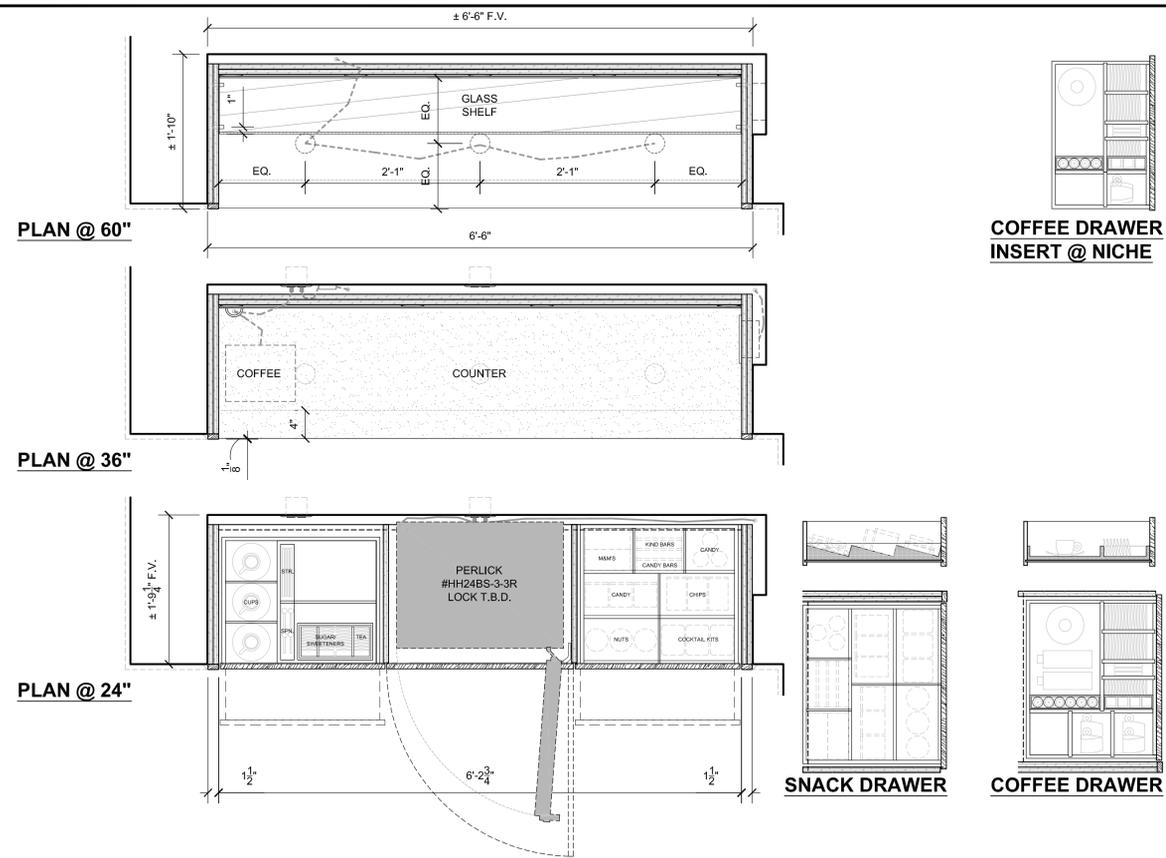
DATE 04/16/2018

SHEET NUMBER **I-603**







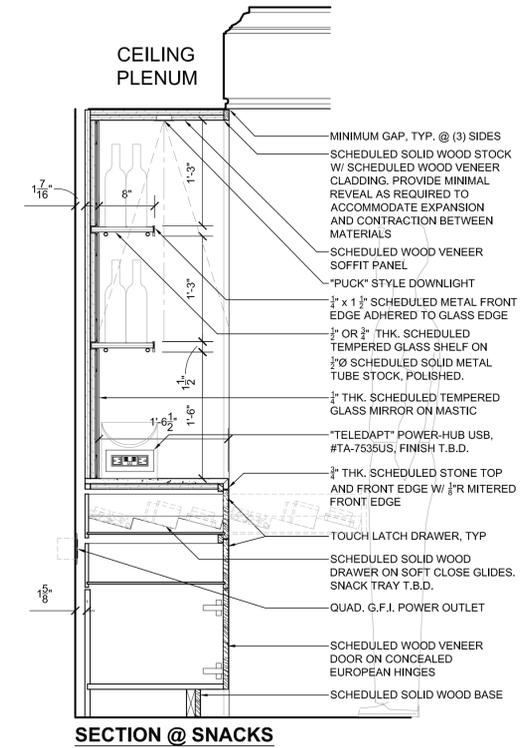


**COFFEE DRAWER  
INSERT @ NICHE**

**SNACK DRAWER**

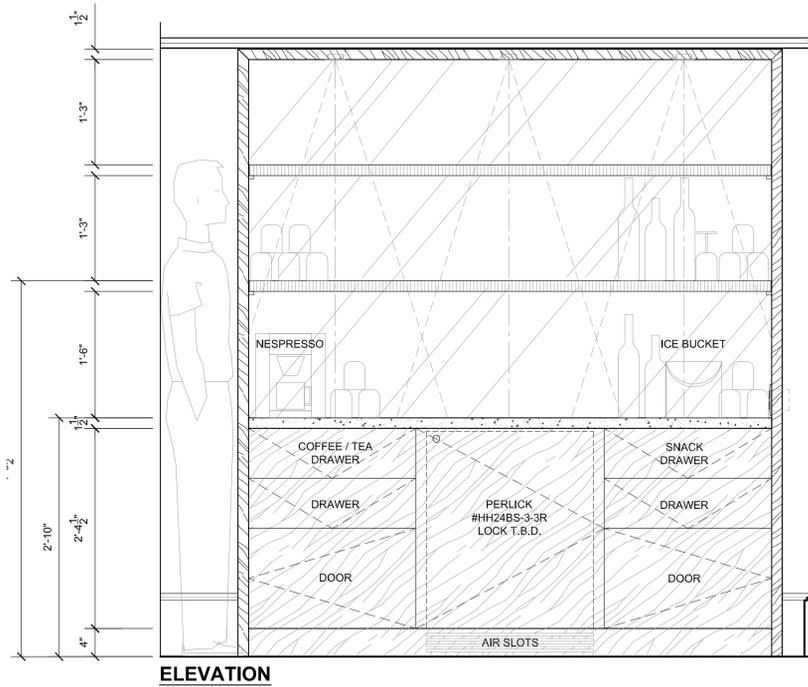
**COFFEE DRAWER**

ENLARGED DETAIL PLANS @ SUITE BAR (FF&E Item Furnished and Installed by Owner)  
SCALE: 1" = 1'-0" **1**



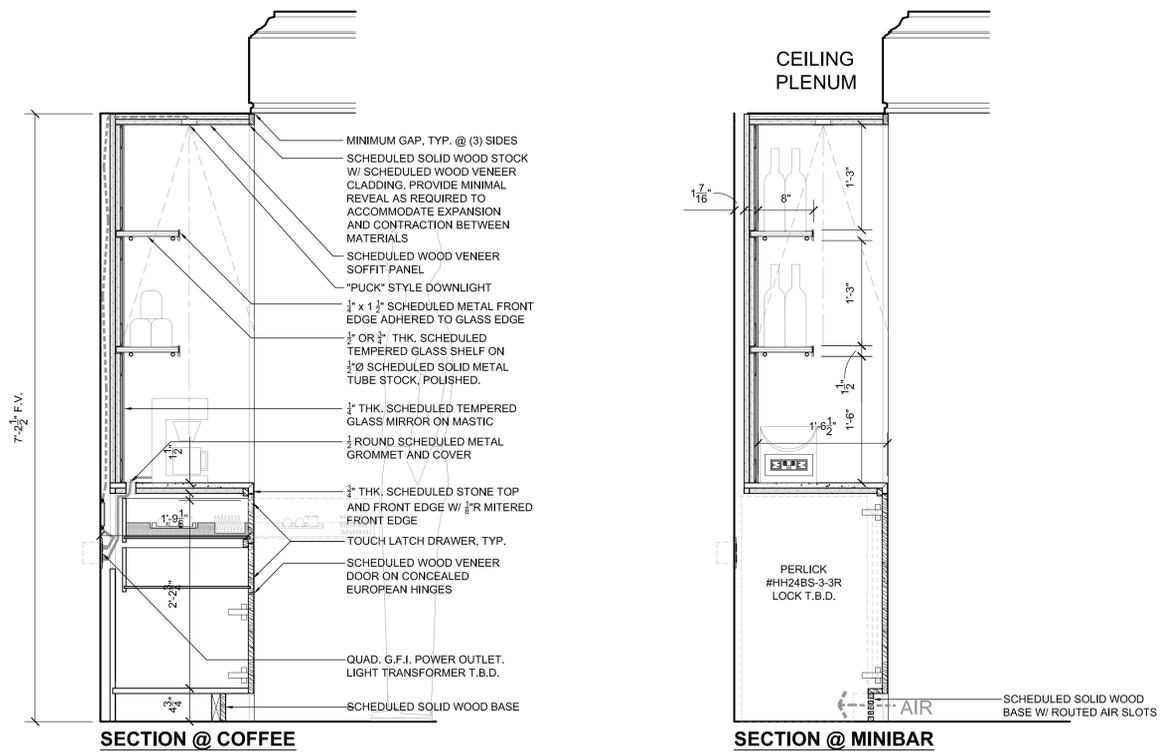
**SECTION @ SNACKS**

ENLARGED SECTION @ SUITE BAR (FF&E Item Furnished and Installed by Owner)  
SCALE: 1" = 1'-0" **2**



**ELEVATION**

ENLARGED ELEVATION @ SUITE BAR (FF&E Item Furnished and Installed by Owner)  
SCALE: 1" = 1'-0" **3**



**SECTION @ COFFEE**

**SECTION @ MINIBAR**

ENLARGED SECTIONS @ SUITE BAR (FF&E Item Furnished and Installed by Owner)  
SCALE: 1" = 1'-0" **4**

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DRAWING TITLE  
DETAILS  
GUEST ROOM RENOVATION  
TYPICAL KING  
TYPICAL SUITE

PROJECT NUMBER 1714.00

DATE 04/16/2018

SHEET NUMBER **1-800**

