

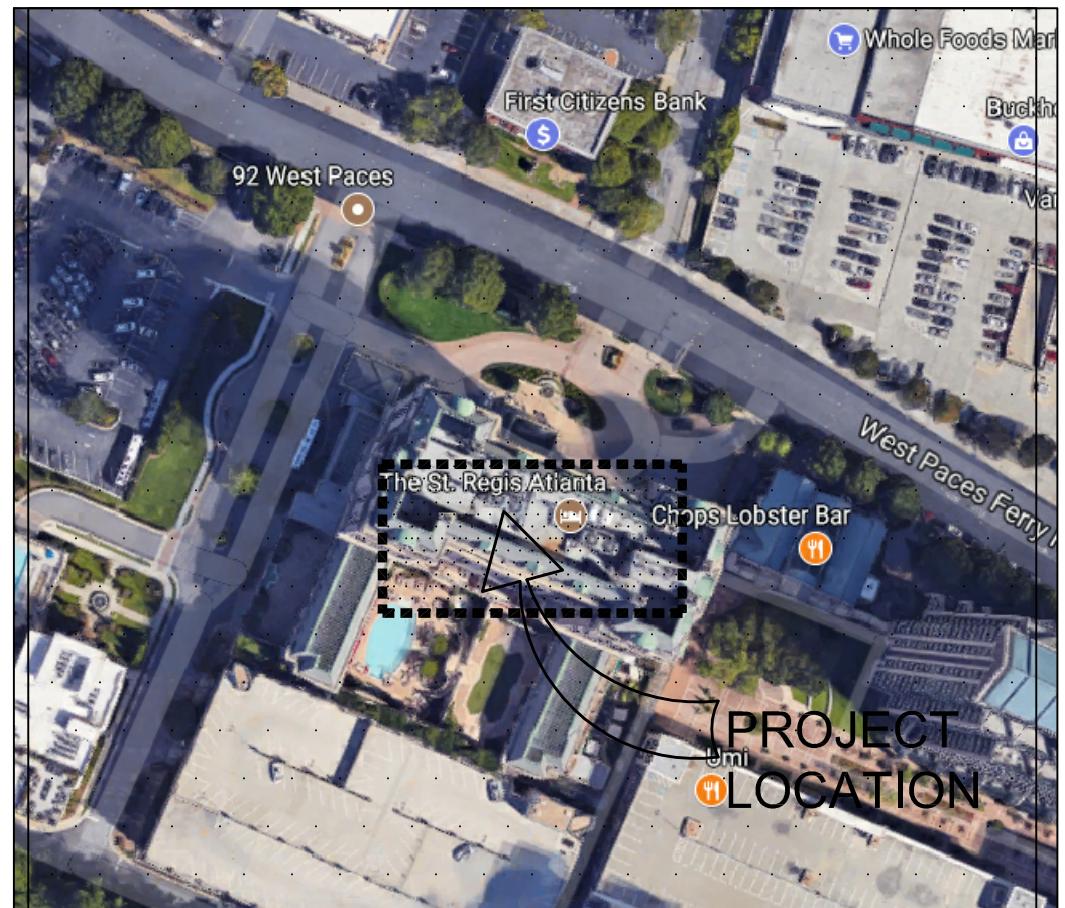
St. REGIS ATLANTA

EMPIRE SUITE RENOVATION

88 WEST PACES FERRY ROAD
ATLANTA, GA 30305

INTERIOR DRAWINGS 08/17/2018

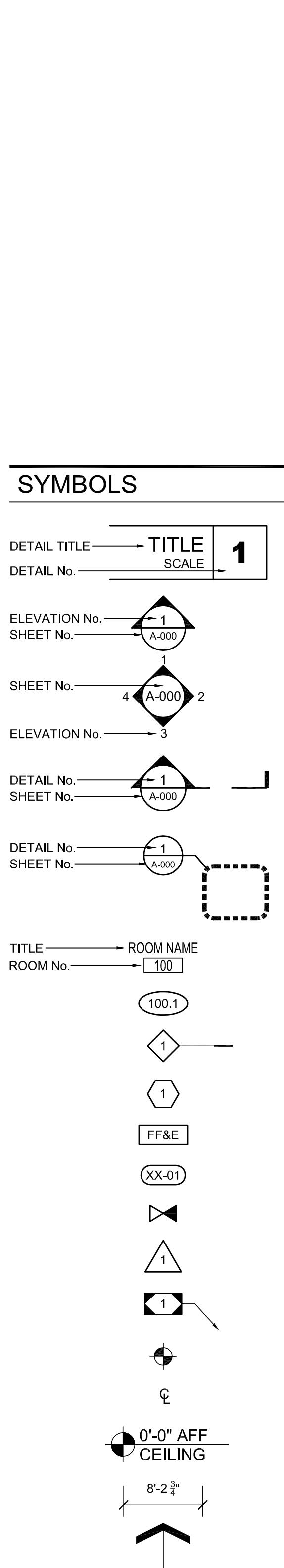
LOCATION MAP



ABBREVIATIONS

ACOUSTIC	-ACOUS	EQUAL	-EQ
ACOUSTICAL CEILING	-ACT	EQUIPMENT	-EQUIP
TILE		EXCAVATE	-EXC-EXSTG
AIR CONDITIONING	-AC	EXISTING	OR-EXIST
ALUMINUM	-AL	EXPANSION BOLT	-EXP BLT
ANCHOR BOLT	-AB	EXPANSION JOINT	-EJ OR EXP JT
ANGLE	-*	EXTERIOR	-EXTR
APPROVED	-APPD	FACE BRICK	-FB
ASPHALT	-ASPH	FINISH	-FIN
AUTOMATIC	-AUTO	FIRE ALARM	-FA
AVERAGE	-AVG	FIRE EXTINGUISHER	-FE OR F EXT
BASEMENT	-BSMT	FLASHING	-FLASHG
BATHROOM	-BR	FLOOR	-FLR
BENCH MARK	-BM	FLUORESCENT	-FLUOR
BETWEEN	-BW	FOUNDRY	-FTG
BEDDED	-BEVL	FOUNDATION	-FUND OR FND
BLOCK	-BLK	GALVANIZED	-GALV
BRACKET	-BRKT	GLASS	-GL
BRICK	-BRK	GYPSUM	-GYP
BUILDING	-BLDG	HARDWARE	-HDW
CABINET	-CAB	HEIGHT	-H, HT OR HGT
CAULKING	-CLK	HOLLOW METAL	-HM
CEILING	-CLG	HORIZONTAL	-HORIZ.
CEMENT	-CMNT	INSULATION	-INS
CEMENT PLASTER	-CMNT PLAS	INTERIOR	-INT
CENTER	-CTR	INTERMEDIATE	-INTER
CENTER LINE	-C OR CL	JANITOR'S CLOSET	-J CL
CERAMIC	-CER	KILN-DRIED	-KD
CERAMIC TILE	-CT	LAVATORY	-LAV
CHALK BOARD	-CHBD	LENGTH	-LGTH
CHANNEL	-CHAN	LEVEL	-LEV
CLEAN OUT	-CO	MANUFACTURE	-MFR
CLEAR	-CLR	MASONRY OPEN	-MO
CLOSET	-CLO	MATERIAL	-MATERIAL
COLD WATER	-CW	MAXIMUM	-MAX OR max
COLUMN	-COL	MINIMUM	-MIN OR min
CONCRETE	-CONC	MISCELLANEOUS	-MISC
CONCRETE BLOCK	-CB	NOMINAL	-NOM
CONCRETE MASONRY	-CMU	NOT IN CONTRACT	-NJC
CONSTRUCTION	-CONST	NUMBER	-N.
CONTINUE (OUS)	-CONT	OCCUPANTS	-OCC
COUNTER FLASHING	-CFLG	ON CENTER	-OC
COUNTERSINK	-CSK	OPENING	-OPNG
COURSES	-COUR	OUTSIDE DIAMETER	-OD'
DEMOLISH	-DEMO	PAINTED	-PTD
DEPARTMENT	-DEPT	PERPENDICULAR	-PERP
DETAIL	-DET	PLASTER	-PLAS
DIA	-DIA	PLUMBING	-PLUMB
DIMENSION	-DIM	QUANTITY	-QTY
DISHWASHER	-DW	RADIUS	-R
DIVISION	-DIV	REINFORCE	-REINF
DOOR	-DR	RISER	-R
DOUBLE HUNG WINDOW	-DHW	ROOFING	-RFG
DOWN	-D	ROOM SCHEDULE	-RM SCH
DOWN SPOUT	-DS	SECTION	-SECT OR SEC
DRAIN	-DRN	SLOP SINK	-SS
DRAWING	-DWG	SERVICE SINK	-SS
DRINKING FOUNTAIN	-DF	SQUARE	-SQ
EACH	-EA	STAINLESS STEEL	-SST OR SS
EAST	-E	STANDARD	-STD
ELECTRICAL	-ELEC	STEEL	-STL
ELEVATION	-EL OR ELEV	STORAGE	-STG
ELEVATOR	-ELEVTR	SUSPENDED	-SUSP
ELECTRICAL PANEL	-EP	THICK OR THICKNESS	-THK
ELECTRIC WATER	-EWC	TONGUE & GROOVE	-T & G
COOLER		TYPICAL	-TYP
ENCLOSE (URE)	-ENCL	UNDERWRITERS LAB	-UL
ENTRANCE	-ENT	WELDED WIRE FABRIC	-W.W.F.
		WELDED WIRE MESH	-W.W.M.

SCOPE OF WORK



GENERAL NOTES

- THE CONSTRUCTION DOCUMENTS (I.E. DRAWINGS, SPECIFICATIONS) SHALL NOT BE USED FOR ISSUANCE OF BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- CHANGES TO THE PLANS BY THE OWNER AND/OR THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES, AND NOT THAT OF THE ARCHITECT.
- THE ARCHITECT WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE DRAWINGS.
- CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, WHERE CODES CONFLICT WITH THESE DRAWINGS, THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS.
- THE INTENTION OF THE DOCUMENTS IS TO DESCRIBE, IN GENERALITY, SYSTEMS AND FINISHES. THE CONTRACTOR SHALL PROVIDE AND INSTALL COMPLETE SYSTEMS IN ACCORDANCE WITH APPLICABLE CODES, MANUFACTURERS AND ASSOCIATIONS REQUIREMENTS AND RECOMMENDATIONS, OR ACCEPTABLE BUILDING PRACTICE, WHICHEVER IS MORE STRINGENT.
- ALL WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
- THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. AS THE WORK PROGRESSES THE OWNER AND THE CONTRACTOR, AT NO EXTRA COST, SHALL MAKE MODIFICATIONS TO MAKE PARTS ALIGN AND FUNCTION PROPERLY.
- RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION. INSPECT BOTH THE SUBSTRATE AND THE CONDITIONS FOR EACH MAJOR COMPONENT. DO NOT PROCEED UNTIL ANY UNSATISFACTORY CONDITION(S) HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
- COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN CONTRACT DOCUMENTS.
- PROVIDE ATTACHMENTS AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK. SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT.
- PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICES TO ARCHITECT FOR FINAL DECISION.
- ANY OMISSIONS FROM THE DOCUMENTS WHICH WOULD CUSTOMARILY BE PART OF THE SYSTEM OR FINISHES SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE FROM THE SITE EXCESS EXCAVATED MATERIALS, TRASH, DEBRIS, AND WASTE MATERIALS. DISPOSAL SHALL BE IN A MANNER APPROVED BY STATE AND LOCAL AUTHORITIES.
- ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS, SURROUNDING PRIVATE /PUBLIC PROPERTIES, AND PUBLIC RIGHT OF WAY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CLEAN AND SAFE WORK AREA AND IS RESPONSIBLE FOR SAFETY AT THE SITE.
- CONTRACTOR SHALL PROVIDE ANY REQUIRED PROTECTION OF WORK. NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO NULLIFY ANY RULES, REGULATIONS OR STATUTES OF STATE OR FEDERAL AGENCIES GOVERNING THE PROTECTION OF THE PUBLIC OR WORKERS FROM HEALTH OR OTHER HAZARDS INVOLVED IN THE OPERATIONS REQUIRED TO PERFORM THIS WORK.
- CONSTRUCT AND INSTALL TEMPORARY PROTECTION MEASURES PRIOR TO START OF CONSTRUCTION. TEMPORARY PROTECTION SHALL BE REMOVED WHEN WORK IS COMPLETE. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, BUILDING OR STRUCTURE FROM DAMAGE OR INJURY.
- ALL CONSTRUCTION EQUIPMENT AND SAFEGUARDS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN A SUBSTANTIAL MANNER AND SHALL BE SO OPERATED AS TO INSURE PROTECTION TO THE WORKERS ENGAGED THEREON AND TO THE GENERAL PUBLIC. ALL EXISTING AND ADJOINING IMPROVEMENTS SHALL BE PROTECTED FROM DAMAGE INCIDENTAL TO CONSTRUCTION OPERATIONS.
- PROTECT EXISTING ROADWAYS, WALKWAYS AND ADJOINING MALL SPACES. ENCLOSE STAGING EQUIPMENT AND STORAGE AREAS WITH BARRICADES TO PREVENT ENTRY OF UNAUTHORIZED PERSONS. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, EXISTING BUILDINGS OR STRUCTURES FROM DAMAGE OR INJURY.
- MATERIALS AND EQUIPMENT REQUIRED IN CONSTRUCTION OPERATIONS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER OR OBSTRUCT THE PUBLIC, THE WORKERS OR THE ADJOINING SPACES.
- ALL ABANDONED PIPING, CONDUITS, AND DEBRIS SHALL BE REMOVED OR CAPPED.
- FIRE SAFE (IN COMPLIANCE WITH AUTHORITY APPROVED UL LISTINGS) AND SEAL ALL PENETRATIONS WATERTIGHT, PRIOR TO CLOSE-IN.
- THROUGH-PENETRATIONS OF RATED FIRE RESISTANT ASSEMBLIES/BARRIERS SHALL BE IN COMPLIANCE WITH UBC 101 (AND 90A) F.M. APPROVED, AND UL LISTED. FIRE SAFE ANGULAR SLEEVES BETWEEN NON-FLAMMABLE PENETRATION ITEMS AND NON-FLAMMABLE SLEEVE WITH F.M. APPROVED AND UL LISTED FIRE RATED MATERIAL WITH A RATING EQUAL TO THE BARRIER PENETRATED. THROUGH-PENETRATIONS AND FIRE SAFING OF FIRE RATED FLOORS AND WALLS SHALL BE IN COMPLIANCE WITH THE UL FIRE RESISTANCE DIRECTORY (LATEST ADOPTED EDITION) AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

GENERAL NOTES CONTINUED

- "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE. DRAWINGS ARE USUALLY NOTED "TYP" ONLY WHEN THEY FIRST OCCUR.
- "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE DRAWINGS.
- ALL WORK REQUIRED FOR COMPLETION OF THE SCOPE OF WORK, DRAWN AND/OR NOT DRAWN OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND SHALL BE MANUFACTURED AND INSTALLED TO INDUSTRY AND TRADE STANDARDS. ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE AND FEDERAL AUTHORITIES, UTILITY COMPANIES, INSURANCE AGENCIES AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY CONSTRUCTION. PROTECT SURROUNDING OCCUPIED AREAS FROM CONSTRUCTION DIRT AND DUST. ALL WORK AREAS TO BE THOROUGHLY CLEANED AFTER THE COMPLETION OF ENTIRE PROJECT CONSTRUCTION ACTIVITIES.
- DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS SO THAT CONSTRUCTION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.

DRAWING LIST

INTERIOR DRAWINGS

2018-08-17 - PERMIT SET
2018-12-18 - CLARIFICATIONS

INTERIOR DRAWINGS	
G-000	COVER SHEET
G-001 - 009	SPECIFICATIONS
D-100	SELECTIVE DEMOLITION PLAN - EMPIRE SUITE
D-100A	SELECTIVE DEMOLITION PLAN - CONNECTING ROOM
D-200	SELECTIVE DEMOLITION RCP - EMPIRE SUITE
D-200A	SELECTIVE DEMOLITION RCP - CONNECTING ROOM
ID-100	CONSTRUCTION PLAN - EMPIRE SUITE
ID-100A	CONSTRUCTION PLAN - CONNECTING ROOM
ID-200	REFLECTED CEILING PLAN - EMPIRE SUITE
ID-200A	REFLECTED CEILING PLAN - CONNECTING ROOM
ID-300	FINISH PLAN - EMPIRE SUITE
ID-300A	FINISH PLAN - CONNECTING ROOM
ID-400	POWER AND DATA PLAN - EMPIRE SUITE
ID-400A	POWER AND DATA PLAN - CONNECTING ROOM
ID-500	FURNITURE PLAN - EMPIRE SUITE
ID-500A	FURNITURE PLAN - CONNECTING ROOM
ID-600 - 603	INTERIOR ELEVATIONS - EMPIRE SUITE
ID-604	INTERIOR ELEVATIONS - CONNECTING ROOM
ID-800 - 803	DETAILS
ID-800 - 803 DETAILS	DETAILS
ID-903	FINISH SCHEDULE

The St. Regis Atlanta
Eighty-Eight West Paces Ferry Road
Atlanta GA, 30305
Empire Suite Renovation

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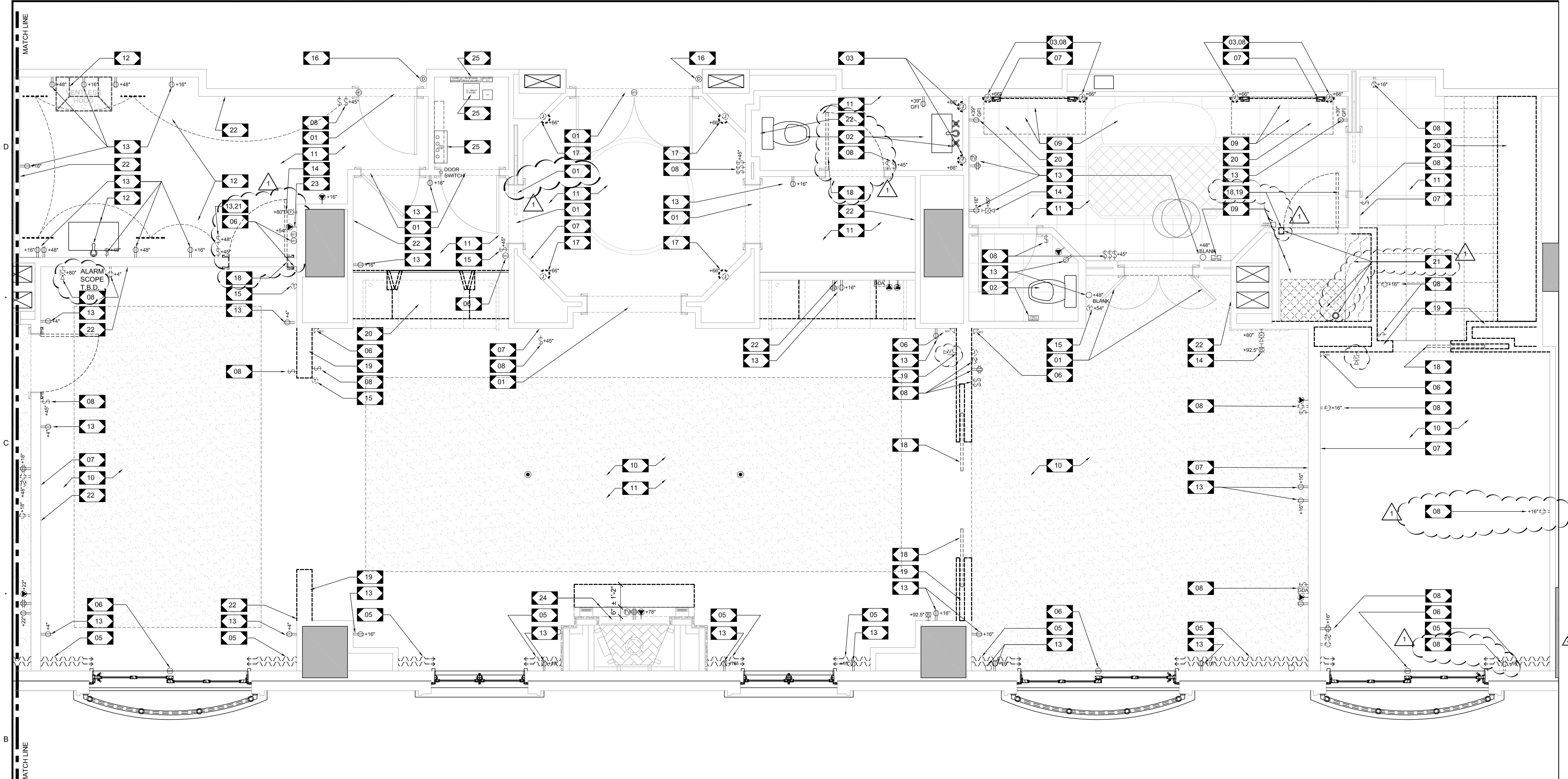
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drawing title

SELECTIVE
DEMOLITION PLAN -
EMPIRE SUITE

drawing no.

D-100



SELECTIVE DEMOLITION PLAN - EMPIRE SUITE

1

SCALE: 3/8 = 1'-0"

DEMOLITION KEYNOTES

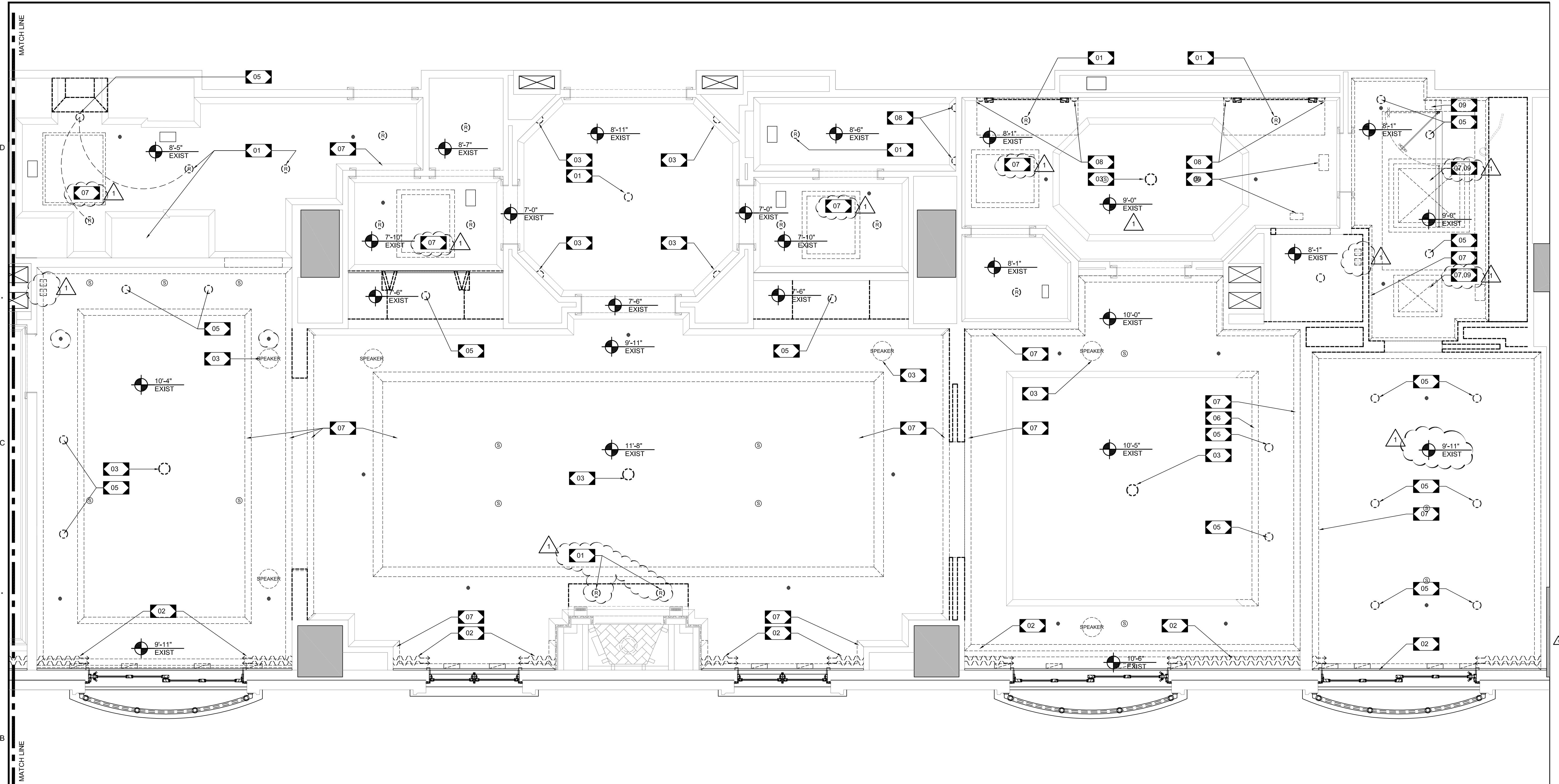
- 01 EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP. IN DBL. QUEEN, REMOVE GUESTROOM SIDE LEVER FOR RE-PLATING
- 02 EXISTING VANITY TOP, BACKSPASH, SINK, TUB, FAUCET, MILLWORK ITEM AND TOILET TO REMAIN.
- 03 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 04 EXISTING ROOM SAFE TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- 05 EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- 06 EXISTING SECURITY/ALARM DEVICE TO REMAIN. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPDATES WITH THE OWNER PRIOR TO CONSTRUCTION.
- 07 REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+e PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- 08 EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 09 REMOVE PLUMBING FIXTURE OR CONTROL DEVICE WHERE INDICATED. PATCH AND PREP FOR NEW WORK. RELOCATE NECESSARY DRAINS AND PIPING AS NEEDED.

- 10 EXISTING AREA RUG, CARPET AND PAD TO BE REMOVED. RETAIN AREA RUGS FOR OWNER LIQUIDATION.
- 11 EXISTING FLOOR FINISH TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 12 EXISTING COUNTERTOP SINK, FAUCET, VENTLESS HOOD, APPLIANCES AND KITCHEN CABINETS TO REMAIN. COORDINATE CONDITION WITH OWNER AND REPLACE ANY ITEMS AS DIRECTED
- 13 EXISTING OUTLET OR SWITCH TO REMAIN. IF EXISTING "BLANK" COVER PLATE, G.C. TO DETERMINE TERMINATED FUNCTION AND DISCUSS WITH INTERIOR DESIGNER FOR DIRECTION
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR TO REMAIN.
- 15 EXISTING THERMOSTAT TO BE REMOVED. LOW VOLTAGE CONTROL CIRCUIT TO REMAIN FOR NEW THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- 17 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 18 EXISTING DOOR TO BE REMOVED AND SALVAGED FOR OWNER USE. PATCH AND PREP AREA FOR NEW WALL, DOOR AND/OR FRAMED OPENING.
- 19 DEMOLISH WALL, INCLUDING CROWN MOULDING AND WALL BASE. RELOCATE ELECTRICAL AS INDICATED OR REMOVE. PREPARE AREA FOR NEW CONSTRUCTION.
- 20 REMOVE EXISTING BUILT IN MILLWORK. SALVAGE FOR OWNER USE. PREPARE AREA FOR NEW FF&E AND/OR NEW CONSTRUCTION.
- 21 EXISTING STONE FLOORING, SHOWER SEAT AND PORTION OF BASE WALL AND BASE AREAS TO REMAIN
- 22 EXISTING ARTWORK AND/OR MIRROR TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE SCOPE WITH OWNER'S REPRESENTATIVE
- 23 EXISTING WALL MOUNTED PHONE TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- 24 EXISTING FIREPLACE TO REMAIN. HEARTH DIMENSION TO BE REDUCED. SEE ID-100 & 300. REFINISH TO LIKE NEW APPEARANCE.
- 25 EXISTING 225A ELECTRIC PANEL, CONDUITS, WIREWAY ABOVE AND TV DEVICES TO REMAIN. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPDATES WITH THE OWNER PRIOR TO CONSTRUCTION.

DEMOLITION SHEET NOTES

1. PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
3. DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.

4. COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
5. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
6. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
7. INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
9. DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
10. NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
11. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.
12. ALL FIRE SAFETY EQUIPMENT AND THE ASSOCIATED CONDUIT AND WIRING SYSTEM SHALL NOT BE HARMED DURING DEMOLITION AND/OR ANY CONSTRUCTION AND SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE.
13. AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
14. ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURNED TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
15. ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
16. ALL EXISTING SWITCHES, POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND/OR REFURBISH FINISH PLATES IF/AS REQUIRED.
17. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTATS U.N.O.
18. ALL EXISTING WINDOWS AND SILLS TO REMAIN U.N.O. REPAIR AND REFURBISH IF/AS REQUIRED.
19. ALL PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES TO REMAIN U.N.O. CLEAN, REPAIR AND/OR REFURBISH IF/AS REQUIRED.
20. ALL EXISTING FASCIA/SOFFIT/COVE TO REMAIN.
21. ALL EXISTING CEILING, MOLDING, SPRINKLERS, DIFFUSERS, DUCTWORK AND CEILING DEVICES TO REMAIN U.N.O.
22. EXISTING ROOM SIGNS AND ASSOCIATED SIGNAGE TO REMAIN U.N.O.
23. ALL EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE.
24. REMOVE EXISTING ARTWORK INCLUDING MOUNTING HARDWARE PATCH AND REPAIR WALL AS REQUIRED.



SELECTIVE DEMOLITION RCP - EMPIRE SUITE
SCALE: 3/8 = 1'-0"

1

RCP DEMOLITION KEYNOTES

- 01 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 02 EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- 03 EXISTING J-BOX, OUTLET, SPEAKER OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- 04 EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 05 EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT FOR THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND CONTROL 4. NO CIRCUITS OR DEVICES ARE ABANDONED LIVE.
- 06 PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 07 REMOVE EXISTING MOLDING AND/OR ACCESS PANEL WHERE INDICATED.
- 08 EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 09 RELOCATE HVAC/MECHANICAL UNIT IN EXISTING CEILING TO NEW LOCATION. REMOVE EXISTING STEAM UNIT. COORDINATE WITH MEP.

DEMOLITION SHEET NOTES

1. PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
3. DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.
4. COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
5. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
6. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
7. INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
9. DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
10. NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, SHALL NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
11. WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.
12. ALL FIRE SAFETY EQUIPMENT AND THE ASSOCIATED CONDUIT AND WIRING SYSTEM SHALL NOT BE HARMED DURING DEMOLITION AND/OR ANY CONSTRUCTION AND SHALL BE PROTECTED FROM ANY PHYSICAL DAMAGE.
13. AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
14. ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURNED TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
15. ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
16. ALL EXISTING SWITCHES, POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND/OR REFURBISH FINISH PLATES IF/AS REQUIRED.
17. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTATS U.N.O.

LIGHT FIXTURE LEGEND

- 01 EXISTING LIGHT FIXTURE
- 02 UNDER CABINET L.E.D. LIGHT
- 03 12" FF&E L.E.D. NIGHTLIGHT
- 04 SWITCH AND/OR CIRCUIT
- 05 J-BOX
- 06 SPRINKLER
- 07 A11 RECT. L.E.D. WALLWASHER
- 08 PLT-XX CEILING PENDANT
- 09 WSC-XX WALL SCONCE
- 10 A1, A-1A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. A1 IS ADJUSTABLE, A-1A IS FIXED
- 11 A2, A-2A, 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD. A2 IS ADJUSTABLE, A-2A IS FIXED
- 12 A-2B, A-2B W/SPREAD LENS, A-2C WET RATED
- 13 A-2C
- 14 A3, A-3A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY, A-3A IS 60° BEAMSPREAD
- 15 A4, FF&E L.E.D. BAR PUCK LIGHT
- 16 A5 2" L.E.D. PIN LIGHT AT MEDIA ROOM
- 17 A6, A7 L.E.D. STRIP LIGHT, HARDWIRED. A7 IS PLUG END
- 18 A8 L.E.D. COVE LIGHT
- 19 A9-A L.E.D. STRIP LIGHT, CORNER PROFILE. A9-A IS FLAT PROFILE
- 20 A10 ILLUMINATED L.E.D. CLOSET ROD

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SELECTIVE
DEMOLITION RCP -
EMPIRE SUITE

drawing no.

D-200

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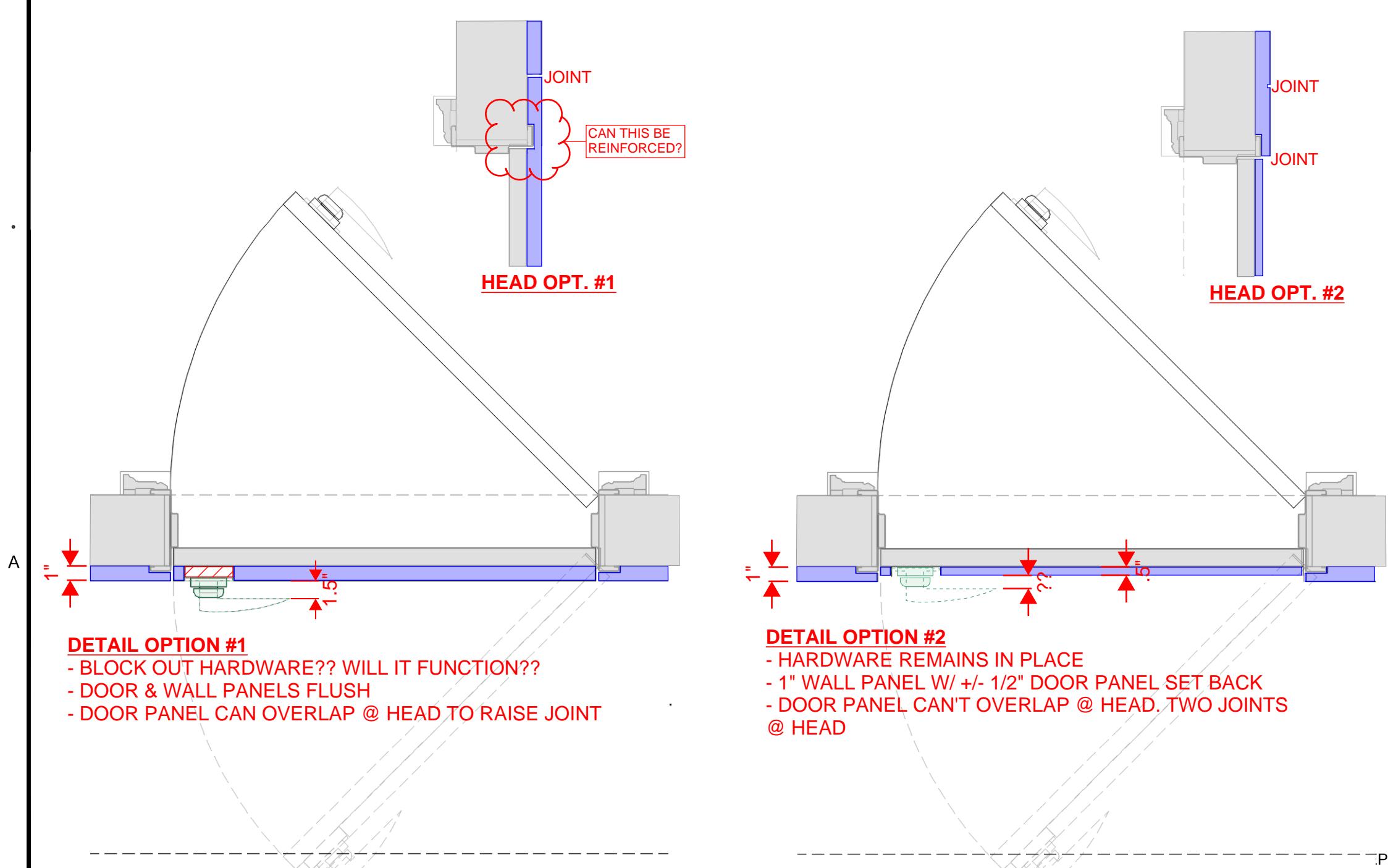
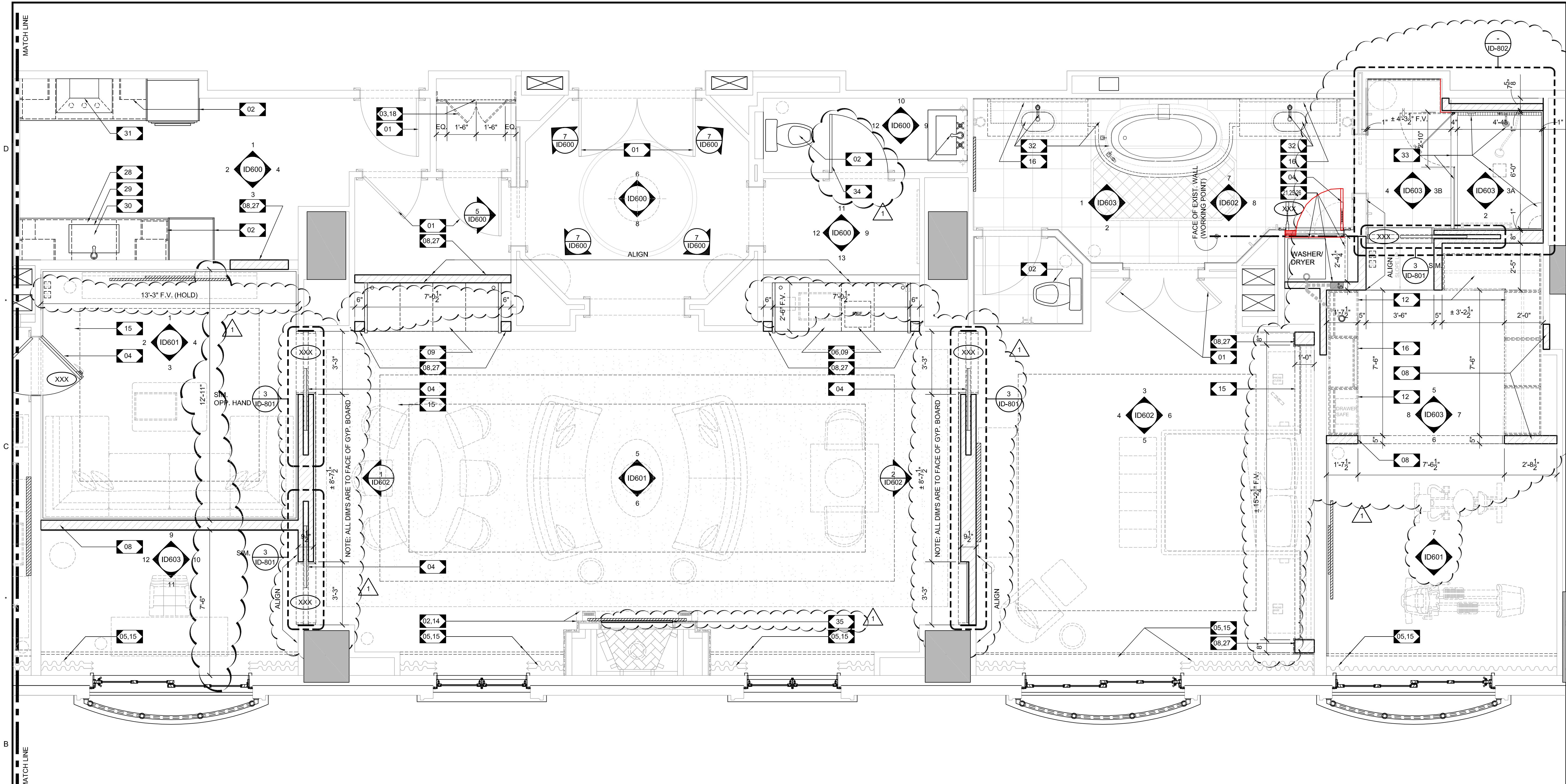
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CONSTRUCTION PLAN - EMPIRE SUITE **1**
SCALE: 3/8 = 1'-0"

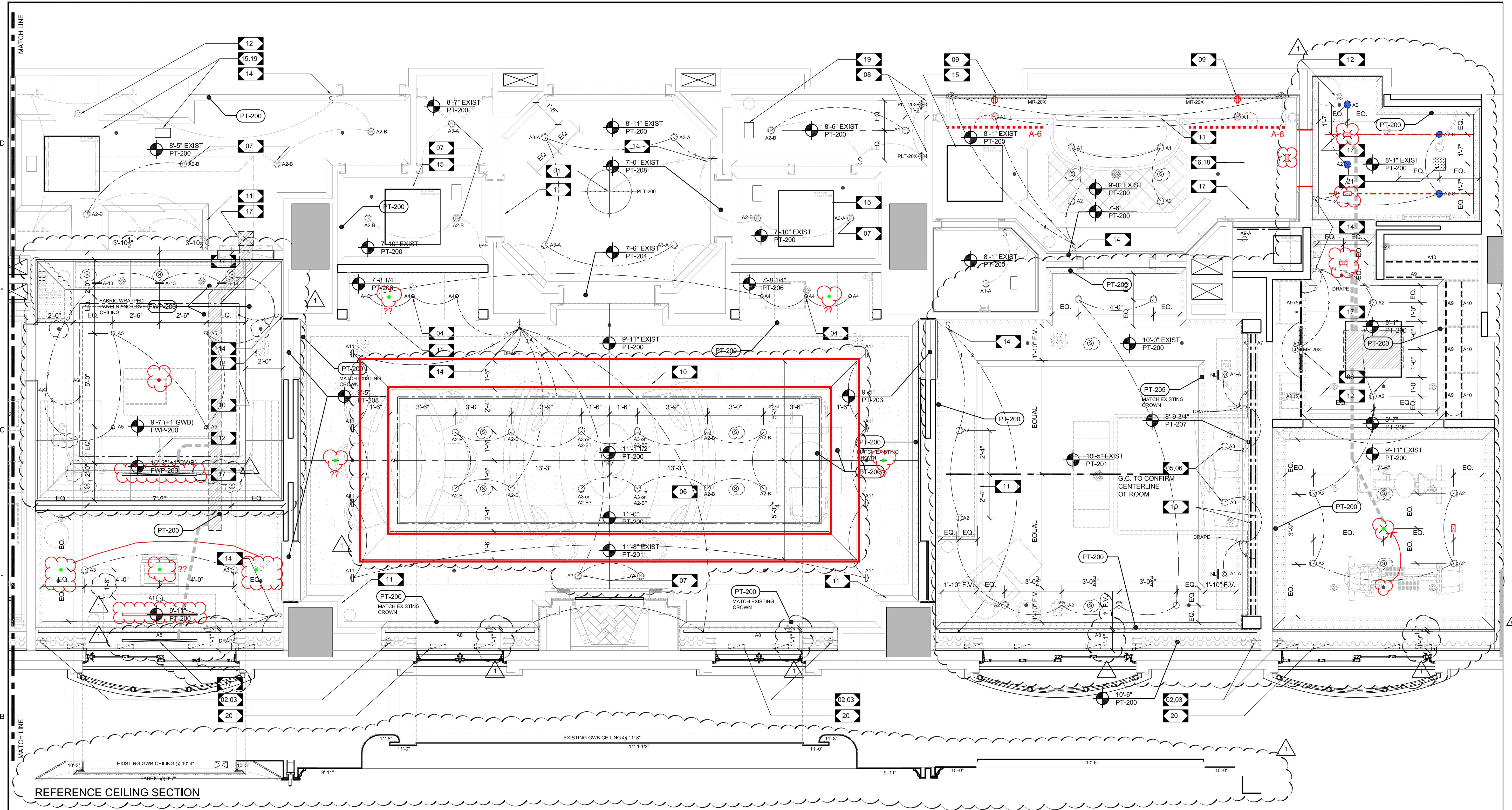
08 NEW GYPSUM BOARD ON METAL STUD FRAMING. IF INFILL, NEW GYP. BD. SURFACES TO BE FLUSH AND MATCH EXISTING IN ALL RESPECTS
09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE, SHEET ID-903.
11 EXISTING FLOOR FINISH, REPAIR AND/OR REFURBISH AS REQUIRED
12 NEW FF&E CLOSET SYSTEM WITH ILLUMINATED SHELVES AND CLOSET ROD. REFER TO ID-400 FOR MORE INFORMATION
13 EXISTING POWER AND DATA DEVICE. REFER TO ID-400 FOR MORE INFORMATION
14 EXISTING FIREPLACE HEARTH TO BE CUT BACK/REDUCED IN DIMENSION. EDGE TO BE DRESSED TO MATCH EXISTING PROFILE
15 LINE OF CEILING TRANSITION ABOVE
16 SCHEDULED FF&E ITEM. REFER TO ID-500 FOR MORE INFORMATION
17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPARED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
18 NEW RETRO-FIT WHITE PAINTED UPPER CABINET FACE AND DOORS ON EUROPEAN HINGES TO CONCEAL SECURITY/IT EQUIPMENT.
19 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
20 EXISTING GYP. BOARD TO BE REPAIRED AND PREPARED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
21 NEW WHITE LAMINATE LAUNDRY SHELVES ON SIDE OR REAR MOUNTED PILASTER STANDARDS/BRACKETS OR PINS
22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
23 EXISTING WALL MOUNTED PHONE
24 AREA OF NEW BASE TO MATCH EXISTING
25 SCHEDULED "STACKABLE" WASHER AND VENTLESS DRYER. PROVIDE T-HOLD, PLATFORM, DRAIN AND WATER PROOF MEMBRANE AT FLOOR/WALLS.
26 PROVIDE "IN WALL" WASHER CONNECTION W/ HOT AND COLD WATER SUPPLY AND DRAIN CONNECTION POINTS
27 NEW BASE TO MATCH EXISTING. COORDINATE WITH EXISTING AND/OR FF&E ITEM. ALL SEAMS/JOINTS TO BE FLUSH AND SMOOTH
28 NEW COUNTERTOP, SEE FINISH PLANS FOR MORE INFORMATION
29 NEW UNDERMOUNT SINK MODEL "XXX" AND RE-INSTALLED EXISTING DISPOSAL CONNECTED TO EXISTING DRAIN LINES
30 NEW SINK FAUCET MODEL "XXX" CONNECTED TO EXISTING PLUMBING SUPPLY LINES
31 EXISTING "VENTLESS" COOKTOP HOOD TO BE EVALUATED BY OWNER. EITHER REFURBISH TO LIKE NEW CONDITION OR REPLACE WITH "WOLF" MODEL "XXX"
32 NEW "UNDERMOUNT" TUB, TUB FILLER, UNDERMOUNT BATH SINK AND BATH SINK FAUCET CONNECTED TO EXISTING PLUMBING SUPPLY AND DRAIN LINES. REFER TO ID-XXX FOR MORE INFORMATION
33 NEW STONE AND TILE SHOWER PAN/DRAIN/CURB KIT, SEAT, SLIDING GLASS DOOR KIT AND PLUMBING COMPONENTS CONNECTED TO EXISTING PLUMBING SUPPLY AND DRAIN LINES. REFER TO ID-XXX FOR MORE INFORMATION
34 SALVAGED / RELOCATED DOOR WITH "RIBBED" DOOR PULL FROM KITCHEN TO BE INSTALLED IN POWDER ROOM TO CREATE HARDWARE CONSISTENCY FOR ALL EXISTING DOORS TO REMAIN
35 NEW 3/8" THK. FINISH PLYWOOD INFILL ON CONCEALED BLOCKING. PAINT TO MATCH ADJACENT STONE

ID-100

scale AS NOTED
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CONSTRUCTION PLAN - EMPIRE SUITE

drawing no.



REFLECTED CEILING PLAN - EMPIRE SUITE 1

SCALE: 3/8 = 1'-0"

REFLECTED CEILING SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFICATION DESIGNER OF ANY AND ALL DISCREPANCIES.
- ALL CEILING SURFACES TO BE PAINTED. REFER TO FINISH SCHEDULE FOR PAINT INFORMATION ON I-03.
- PRESERVE AND PROTECT ALL EXISTING EMERGENCY SYSTEM CEILING DEVICES, TYP.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- ALL EXISTING SURFACES OF CEILING, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPARED FOR THE SCHEDULED FINISH. REFER TO FINISH SCHEDULE I-03 FOR SCHEDULED NUMBER OR PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN CEILING OR WALLS SHALL BE PAINTED TO MATCH THE SURFACE FINISH. OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- TRIM OF EXISTING DOWNLIGHTS TO BE PAINTED TO MATCH ADJACENT CEILING U.N.O.
- GENERAL LIGHTING NOTE: ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING 'LUMASTREAM' AND 'CONTROL4' LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM. IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.
- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFICATION DESIGNER OF ANY AND ALL DISCREPANCIES.
- GENERAL LIGHTING NOTE: ALL NEW DOWNLIGHTING SHOWN IS TO BE PROVIDED BY OWNER FROM EXISTING INVENTORY. COORDINATE ANY NEW REQUIRED COMPONENTS WITH OWNER PRIOR TO CONSTRUCTION.
- SCOPE OF NEW SPRINKLERS TO BE DETERMINED AND COORDINATED BY OWNER'S SPRINKLER SUB-CONTRACTOR WITH ALL APPLICABLE LOCAL CODE REQUIREMENTS, CEILING MATERIALS AND CEILING LAYOUT.
- NEW LIGHT FIXTURE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING CONTROL4 CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURISH GYPSUM BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED.
- INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED.
- NEW LIGHT FIXTURE IN NEW LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.

REFLECTED CEILING KEYNOTES

- NEW LIGHT FIXTURE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURISH GYPSUM BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED.
- INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED.
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- NEW PAINTED MILLWORK ACCESS PANEL
- NEW PAINTED MILLWORK ACCESS PANEL TO MATCH EXISTING IN ALL RESPECTS
- NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW 'CONTROL4' CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-20X, TYP.
- NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT AND/OR SPEAKER WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.

LIGHT FIXTURE LEGEND

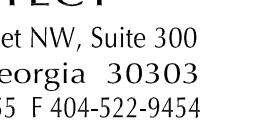
- EXISTING LIGHT FIXTURE
- CEILING PENDANT
- WALL SCONCE
- 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. A1 IS ADJUSTABLE, A1-A IS FIXED
- 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD. A2 IS ADJUSTABLE, A2-A IS FIXED, A-2C A-2B WS/PREAD LENS, A-2C WET RATED
- 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY, A-3A IS 60° BEAMSPREAD
- 1", FF&E L.E.D. BAR PUCK LIGHT
- 2" L.E.D. PIN LIGHT AT MEDIA ROOM
- L.E.D. STRIP LIGHT, HARDWIRED. A7 IS PLUG END
- L.E.D. COVE LIGHT
- L.E.D. STRIP LIGHT, CORNER PROFILE. A-9-A IS FLAT PROFILE
- ILLUMINATED L.E.D. CLOSET ROD
- 12", FF&E L.E.D. NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- SPRINKLER

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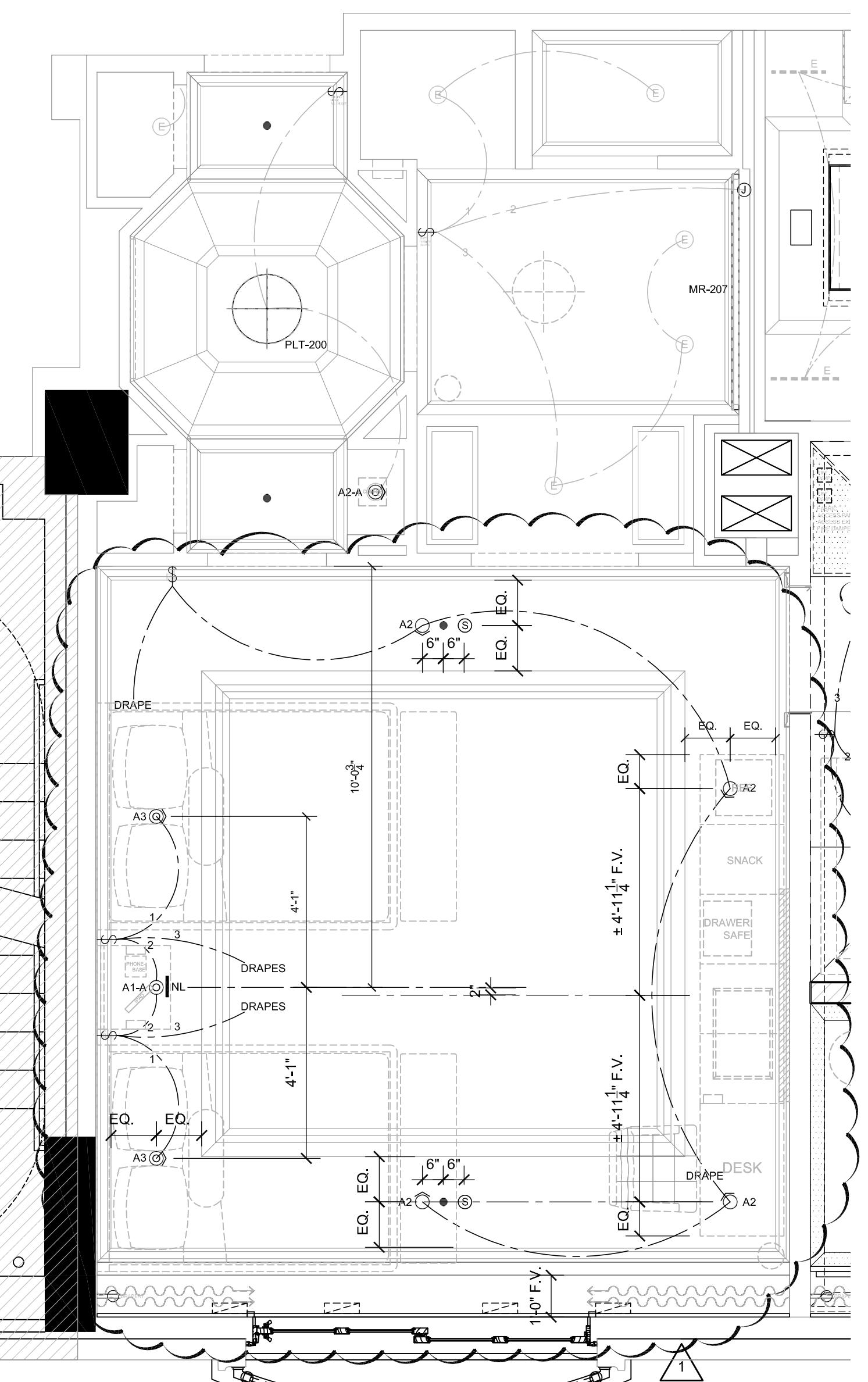
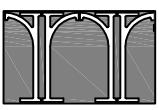
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drawn by BC/JLM
checked JLM
project no. 1714.05

drawing title

REFLECTED CEILING PLAN - EMPIRE SUITE

drawing no.

ID-200

REFLECTED CEILING PLAN - EMPIRE SUITE - CONNECTING ROOM
SCALE: 3/8 = 1'-0"

1

LIGHT FIXTURE LEGEND

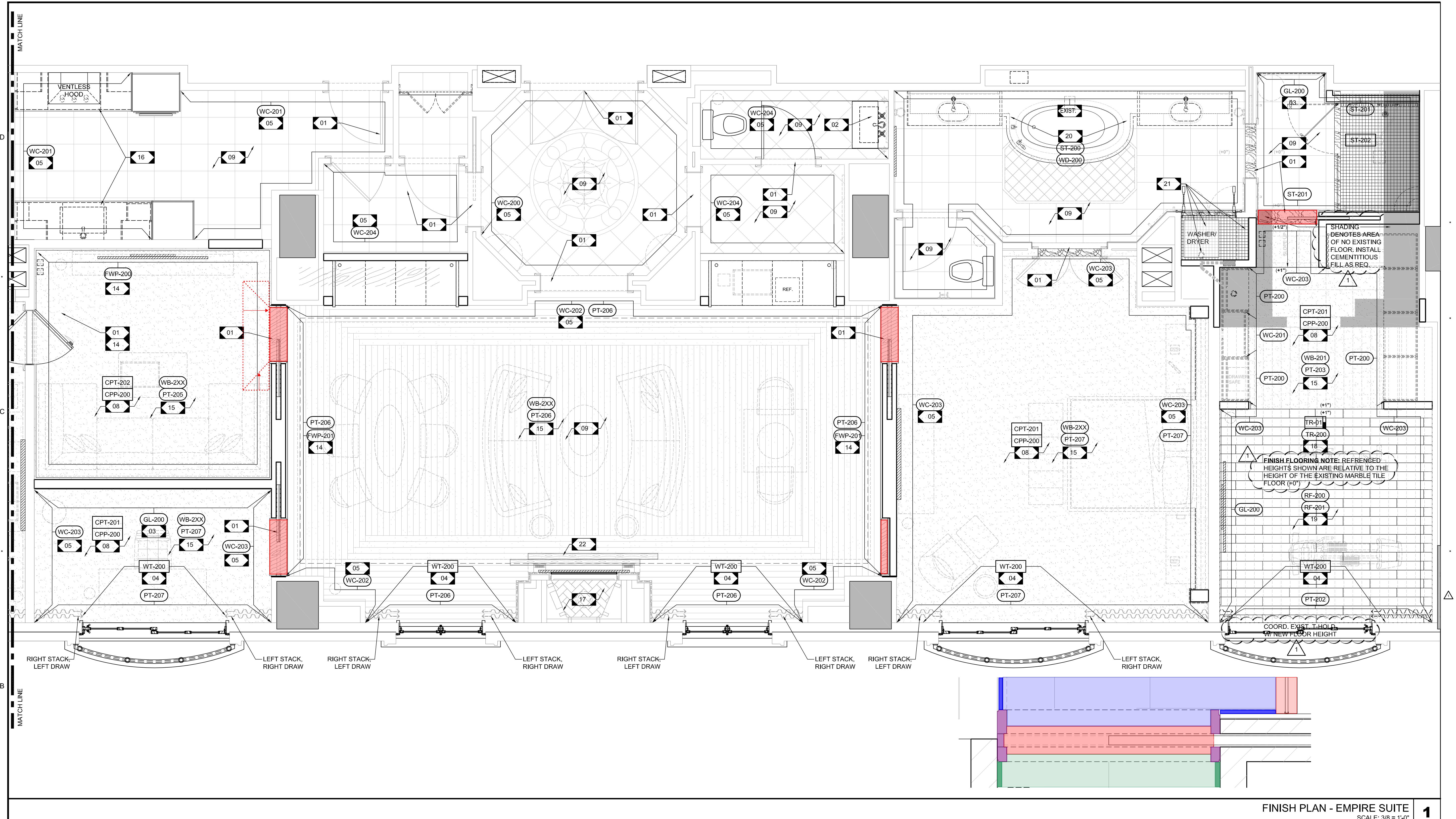
① E (R)	EXISTING LIGHT FIXTURE
② PLT-XX	CEILING PENDANT
③ WSC-XX	WALL SCONCE
④ A1, A-1A	2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. A1 IS ADJUSTABLE, A-1A IS FIXED
⑤ A2, A-2A, A-2B	2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD. A-2A IS ADJUSTABLE, A-2B IS FIXED. A-2B W/SPREAD LENS, A-2C WET RATED
⑥ A3, A-3A	2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. 40° ADJUSTABILITY, A-3A IS 60° BEAMSPREAD
⑦ A4	1", FF&E L.E.D. BAR PUCK LIGHT
⑧ A5	2" L.E.D. PIN LIGHT AT MEDIA ROOM
⑨ A6, A7	L.E.D. STRIP LIGHT, HARDWIRED, A7 IS PLUG END
⑩ A8	L.E.D. COVE LIGHT
⑪ A9, A9-A	L.E.D. STRIP LIGHT, CORNER PROFILE. A9-A IS FLAT PROFILE
⑫ A10	ILLUMINATED L.E.D. CLOSET ROD

REFLECTED CEILING SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- ALL CEILING SURFACES TO BE PAINTED. REFER TO FINISH SCHEDULE FOR PAINT INFORMATION ON I-903.
- PRESERVE AND PROTECT ALL EXISTING EMERGENCY SYSTEM CEILING DEVICES, TYP.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- ALL EXISTING SURFACES OF CEILING, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO FINISH SCHEDULE I-903 FOR SCHEDULED NUMBER OR PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN CEILING OR WALLS SHALL BE PAINTED TO MATCH THE SURFACE FINISH. OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- TRIM OF EXISTING DOWNLIGHTS TO BE PAINTED TO MATCH ADJACENT CEILING U.N.O.
- GENERAL LIGHTING NOTE: ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING 'LUMASTREAM' AND 'CONTROL4' LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM. IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.
- GENERAL LIGHTING NOTE: ALL NEW DOWNLIGHTING SHOWN IS TO BE PROVIDED BY OWNER FROM EXISTING INVENTORY. COORDINATE ANY NEW REQUIRED COMPONENTS WITH OWNER PRIOR TO CONSTRUCTION.
- SCOPE OF NEW SPRINKLERS TO BE DETERMINED AND COORDINATED BY GC/OWNER'S SPRINKLER SUB-CONTRACTOR WITH ALL APPLICABLE LOCAL CODE REQUIREMENTS, CEILING MATERIALS AND CEILING LAYOUT.

REFLECTED CEILING KEYNOTES

- NEW LIGHT FIXTURE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR, REPAIR AND/OR REFURBISH GYP. BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED.
- INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFINISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT. PT-20X, TYP.
- LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED.
- NEW LIGHT FIXTURE IN NEW LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT AND/OR SPEAKER WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.



FINISH PLAN - EMPIRE SUITE 1
SCALE: 3/8 = 1'-0"

CONSTRUCTION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPARED FOR THE SCHEDULED FINISH. REFER TO DRAWING I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.

CONSTRUCTION KEYNOTES

- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- PROTECT ALL EXISTING MOLDING, AND BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
- ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
- PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.
- NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW FINISH AS SPECIFIED.
- EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
- NEW 1/8" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING.
- NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
- NEW OWNER FURNISHED/ CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH TO NEW TO EXISTING DEVICES AND PLATES.
- NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
- EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED.
- RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 1/8" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION.
- NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED.
- EXISTING GLASS DOOR
- NEW OWNER FURNISHED/ CONTRACTOR INSTALLED FABRIC WRAPPED WALL PANELS. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH. COORDINATE WITH AV EQUIPMENT FOR HIDDEN SPEAKERS AND/ OR OTHER SURROUND SOUND EQUIPMENT INSTALLED AT THE WALLS.
- INSTALL NEW CROWN MOULDING AND/OR NEW WALL BASE. REFER TO DETAIL SHEETS FOR MORE INFORMATION ON MOULDING PROFILES.
- EXISTING KITCHEN CABINETS TO BE CLEANED AND REFURBISHED TO LIKE NEW CONDITION. RETAIN ALL HARDWARE AND EQUIPMENT.
- EXISTING FIREPLACE SURROUND, MANTLE, AND HEARTH TO REMAIN. REFURBISH AS REQUIRED FOR LIKE NEW APPEARANCE. EXISTING WALL TILE AND TILE WALL BASE TO REMAIN. REFURBISH TO LIKE NEW APPEARANCE. REPAIR CRACKS/ DAMAGE TO TILE AS NEEDED. MATCH EXISTING TILE WHERE DAMAGED PIECE/S MUST BE REPLACED.
- CONTRACTOR PROVIDED AND INSTALLED TRANSITION STRIP. BETWEEN CARPET AND LVT FLOORING. PROVIDE LEVEL SURFACE BETWEEN BOTH FLOORING MATERIALS FOR SMOOTH TRANSITION. CONFIRM THICKNESS OF MATERIALS WITH ID PRIOR TO ORDERING/ INSTALLING TRANSITION.
- NEW RESILIENT FLOORING ON 1/8" PLYWOOD UNDERLAYMENT. SECURE PLYWOOD TO EXISTING EXISTING WOOD FLOORING. INSTALL NEW FLOORING PER MANUFACTURER'S SPECIFICATIONS. REFER TO FINISH SCHEDULE ON SHEET I-903.
- NEW TUB DECK WITH QUARTZ TOP AND WOOD PANEL SIDES. SEE ELEVATIONS AND DETAILS FOR MORE FINISH INFORMATION. COORDINATE WITH PLUMBING SELECTIONS.
- IN WASHER/DRYER AREA. INSTALL NEW WATERPROOF MEMBRANE, RAISED PLATFORM, TILE FLOORING, SHELVES, IN WALL WATER/DRAIN CONNECTION AND NEW FLOOR DRAIN. G.C. TO CONNECT NEW DRAIN TO EXISTING DRAIN AS COORDINATED WITH PLUMBING SUB-CONTRACTOR ON SITE.
- NEW WOOD FLOORING INFILL IN AREA OF REMOVED HEARTH. "STITCH" IN TO EXISTING RANDOM BOARD LENGTHS AND FINISH TO MATCH EXISTING IN ALL RESPECTS.

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scale AS NOTED

date 2018-08-17

drawn by BC/JLM

checked JLM

project no. 1714.05

drawing title

FINISH PLAN -
EMPIRE SUITE

drawing no.

ID-300

CONSTRUCTION SHEET NOTES

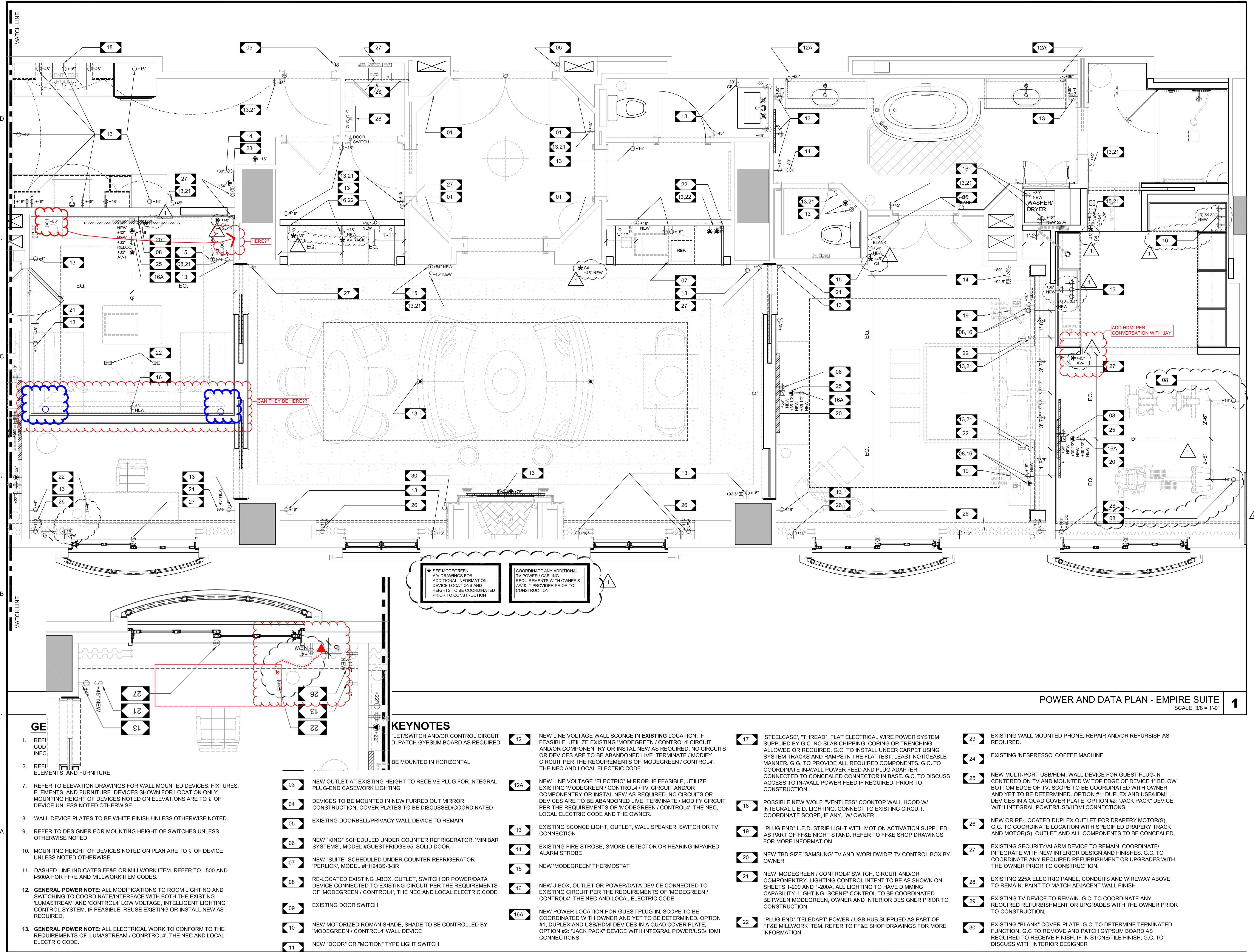
1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPARED FOR THE SCHEDULED FINISH. REFER TO DRAWING I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
10. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
11. PROTECT ALL EXISTING MOLDING, AND BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
12. ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
13. PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

CONSTRUCTION KEYNOTES

01	NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW FINISH AS SPECIFIED.	11	RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, $\frac{1}{4}$ " THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION	17	EXISTING FIREPLACE SURROUND, MANTLE, AND HEARTH TO REMAIN. REFURBISH AS REQUIRED FOR LIKE NEW APPEARANCE. EXISTING WALL TILE AND TILE WALL BASE TO REMAIN. REFINISH TO LIKE NEW APPEARANCE. REPAIR CRACKS/ DAMAGE TO TILE AS NEEDED. MATCH EXISTING TILE WHERE DAMAGED PIECE/S MUST BE REPLACED.	date	2018-08-17
02	EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.	12	NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED	18	CONTRACTOR PROVIDED AND INSTALLED TRANSITION STRIP BETWEEN CARPET AND LVT FLOORING. PROVIDE LEVEL SURFACE BETWEEN BOTH FLOORING MATERIALS FOR SMOOTH TRANSITION. CONFIRM THICKNESS OF MATERIALS WITH ID PRIOR TO ORDERING/ INSTALLING TRANSITION.	drawn by	BC/JLM
03	NEW $\frac{1}{4}$ " THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING	13	EXISTING GLASS DOOR	19	NEW RESILIENT FLOORING ON $\frac{1}{4}$ " PLYWOOD UNDERLayment. SECURE PLYWOOD TO EXISTING WOOD FLOORING. INSTALL NEW FLOORING PER MANUFACTURER'S SPECIFICATIONS. REFER TO FINISH SCHEDULE ON SHEET I-903.	checked	JLM
04	NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.	14	NEW OWNER FURNISHED/ CONTRACTOR INSTALLED FABRIC WRAPPED WALL PANELS. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH. COORDINATE WITH A/V EQUIPMENT FOR HIDDEN SPEAKERS AND/ OR OTHER SURROUND SOUND EQUIPMENT INSTALLED AT THE WALLS.	20	NEW TUB DECK WITH QUARTZ TOP AND WOOD PANEL SIDES. SEE ELEVATIONS AND DETAILS FOR MORE FINISH INFORMATION. COORDINATE WITH PLUMBING SELECTIONS.	project no.	171405
05	NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.	15	INSTALL NEW CROWN MOULDING AND/OR NEW WALL BASE. REFER TO DETAIL SHEETS FOR MORE INFORMATION ON MOULDING PROFILES.	21	IN WASHER/DRYER AREA, INSTALL NEW WATERPROOF MEMBRANE, RAISED PLATFORM, TILE FLOORING, SHELVES, IN WALL WATER/DRAIN CONNECTION AND NEW FLOOR DRAIN. G.C. TO CONNECT NEW DRAIN TO EXISTING DRAIN AS COORDINATED WITH PLUMBING SUB-CONTRACTOR ON SITE		
06	NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.	16	EXISTING KITCHEN CABINETS TO BE CLEANED AND REFURBISHED TO LIKE NEW CONDITION. RETAIN ALL HARDWARE AND EQUIPMENT.	22	NEW WOOD FLOORING INFILL IN AREA OF REMOVED HEARTH. "STITCH" IN TO EXISTING RANDOM BOARD LENGTHS AND FINISH TO MATCH EXISTING IN ALL RESPECTS		
07	NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.						
08	NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.						
09	EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.						
10	EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED						

FINISH PLAN - EMPIRE SUITE - CONNECTING ROOM

1



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APPROVAL. DRAWINGS ISSUED

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Re Suite Renovation

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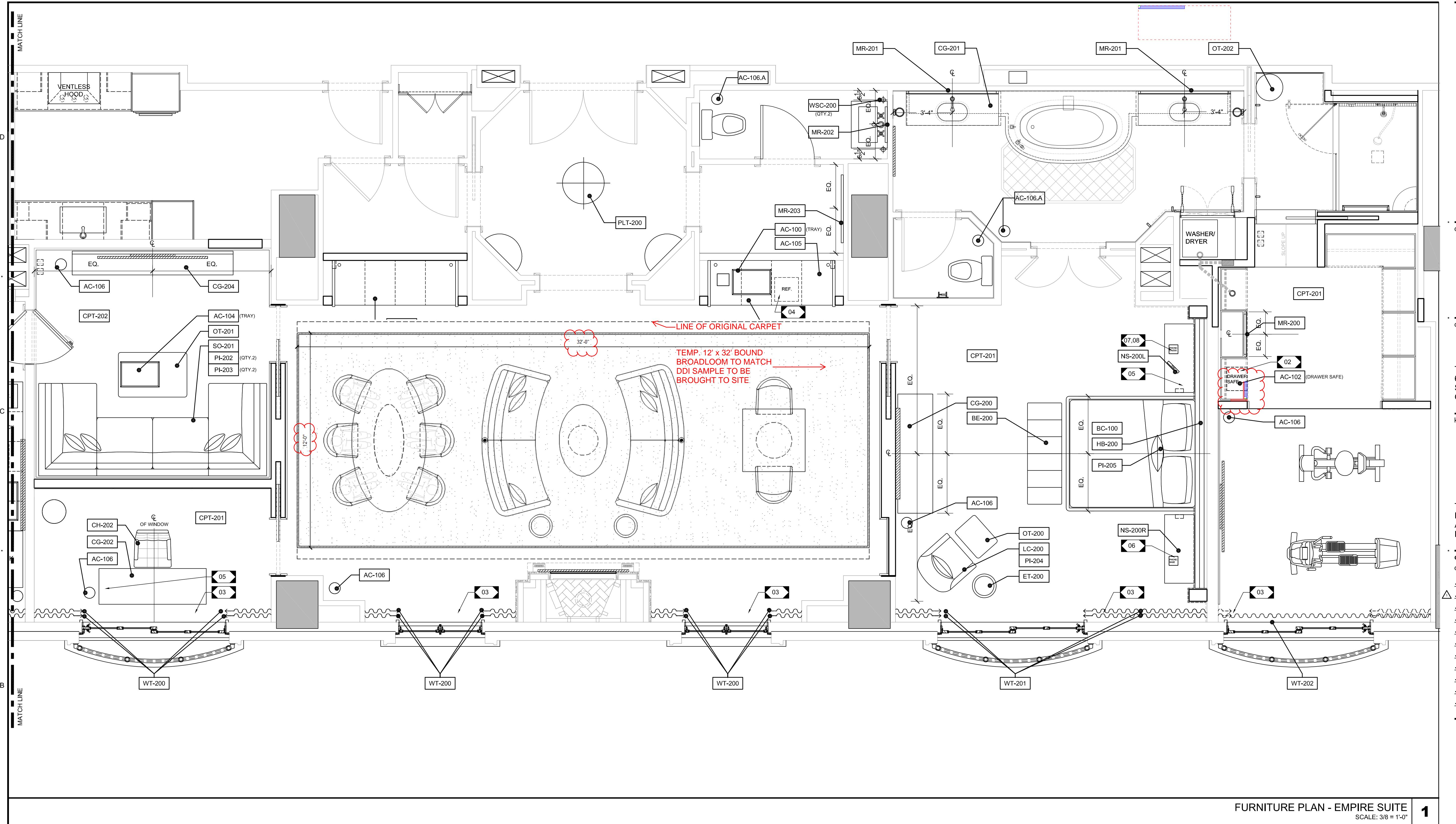
AS NOTED
2018-08-17
by BC/JLM
ed JLM
t no. 1714.05

Using title

WER AND DATA PLAN PIRE SUITE

Page 1 of 1

D-400



FURNITURE PLAN - EMPIRE SUITE 1
SCALE: 3/8" = 1'-0"

FF+E SHEET NOTES

1. REFER TO FF+E SCHEDULE AND SPECIFICATIONS FOR FF+E KEYED NOTE DESCRIPTIONS INCLUDING NEW LIGHT FIXTURES.
2. TV, AUDIO VISUAL AND PERSONAL CONNECTIVITY EQUIPMENT BY OWNER.
3. REFER TO ELEVATIONS ON I-E-601 FOR MOUNTING LOCATIONS OF ARTWORK AND MIRRORS.

FF+E KEYNOTES

- 01 COFFEE MACHINE LOCATION
- 02 DRAWER SAFE. SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 03 NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 04 NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 05 "PLUG END" 'TELEDAPT' POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 06 PHONE BASE LOCATION
 -
- 07 PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
 -
- 08 IPAD DEVICE
 -
- 09 NEW UNDER COUNTER ICE MAKER. CONFIRM/ PROVIDE VENTILATION AND WATER SUPPLY CONNECTIONS PER MANUFACTURER'S REQUIREMENTS.

scale	AS NOTED
date	2018-08-03
drawn by	BC/JLM
checked	JLM
project no.	1714.05

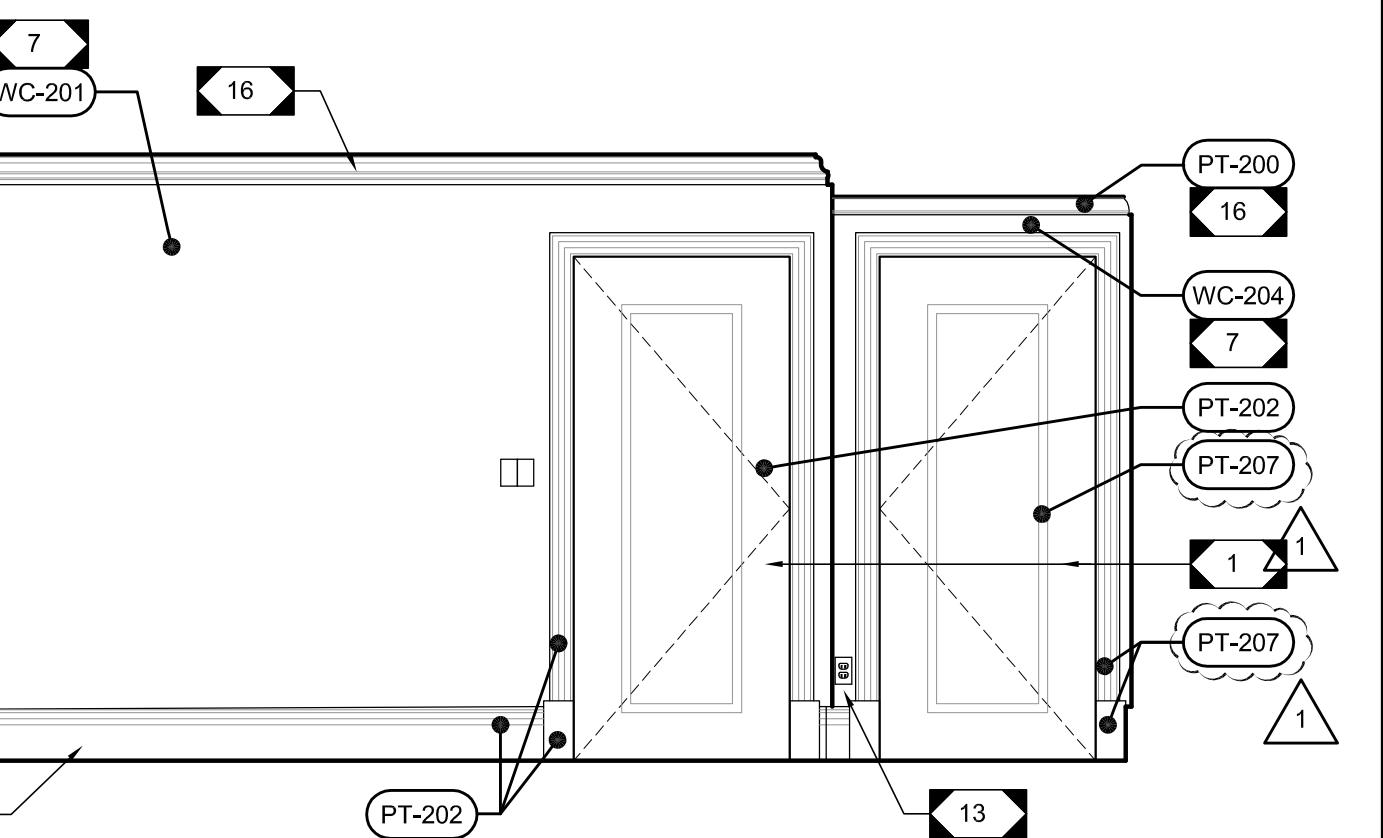
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FURNITURE PLAN - EMPIRE SUITE

11 of 11

ID-500

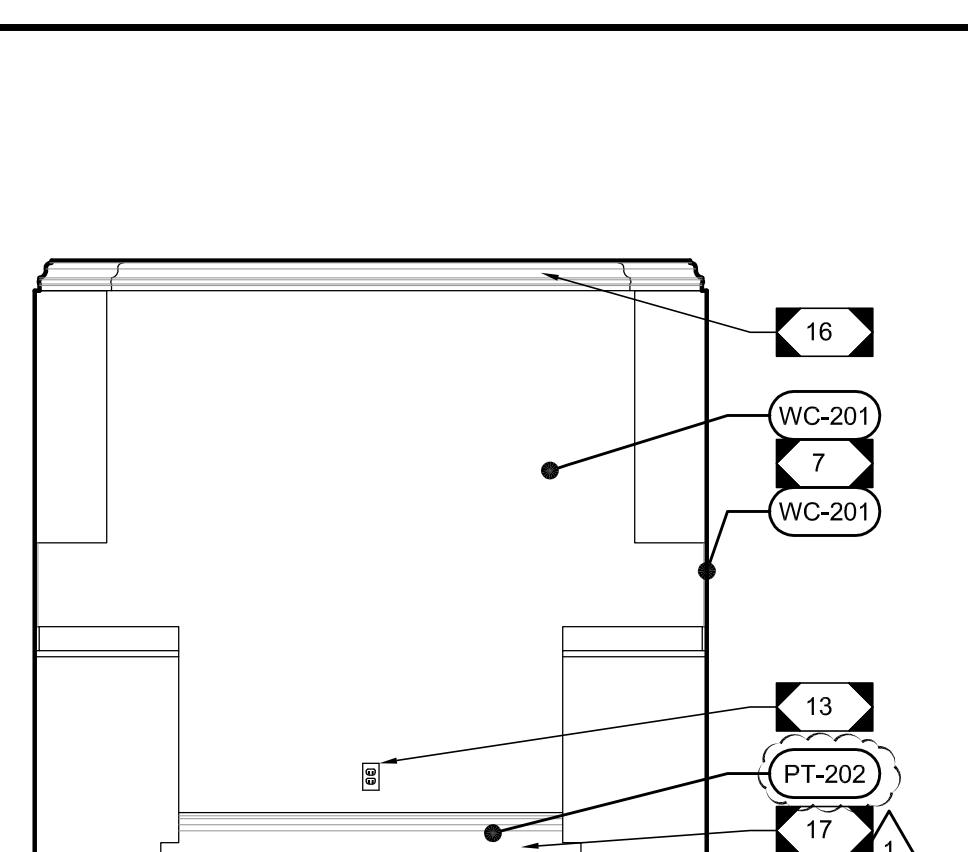
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KITCHEN STOVE WALL ELEVATION

SCALE: 3/8 = 1'-0"

1

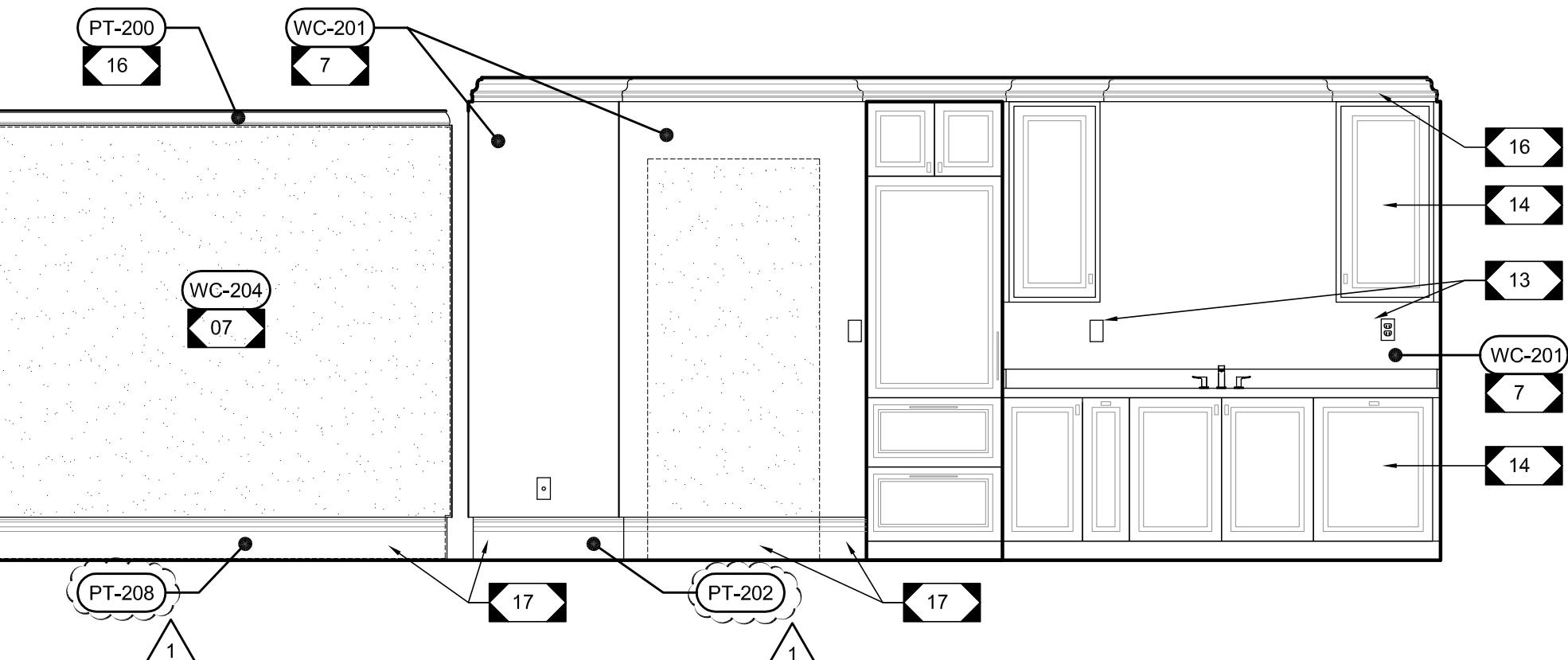


KITCHEN BACK WALL ELEVATION

SCALE: 3/8 = 1'-0"

2

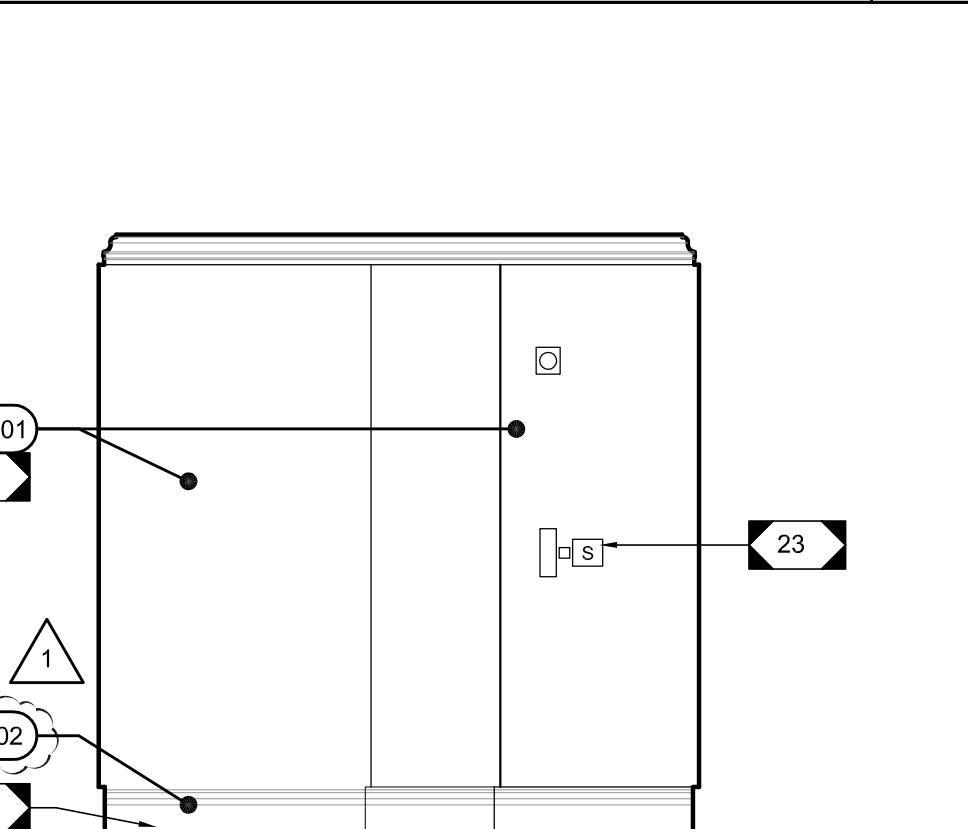
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KITCHEN SINK WALL ELEVATION

SCALE: 3/8 = 1'-0"

3

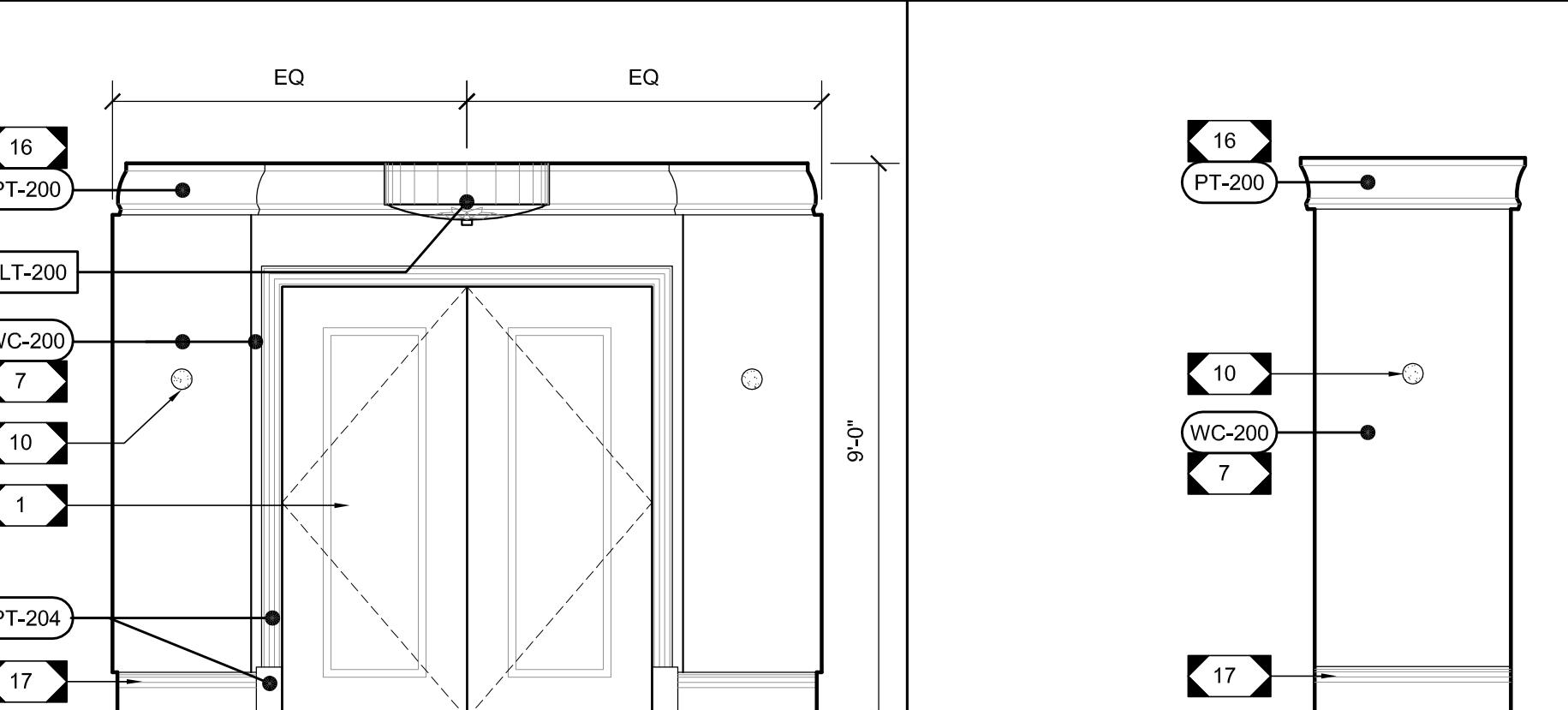


KITCHEN TO HALLWAY ELEVATION

SCALE: 3/8 = 1'-0"

4

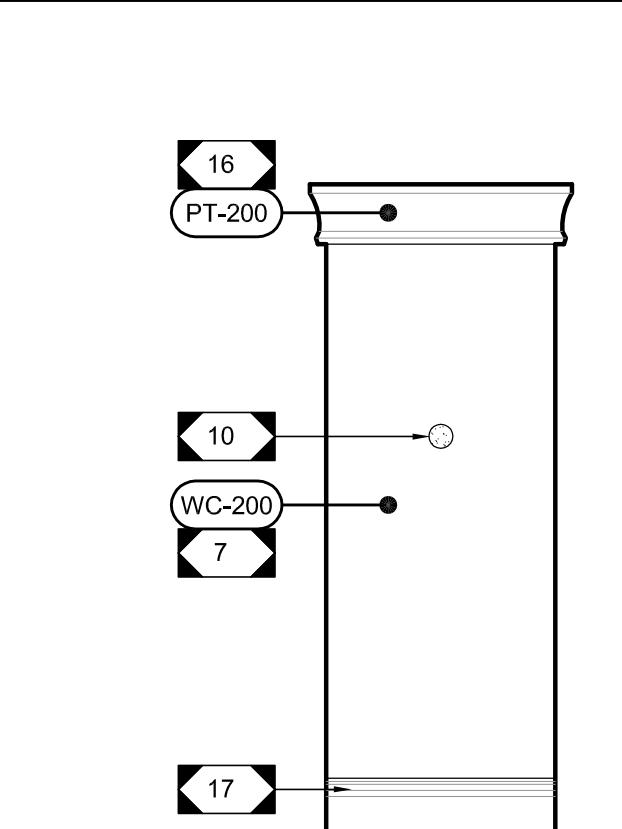
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VESTIBULE ENTRY DOOR ELEVATION

SCALE: 3/8 = 1'-0"

6

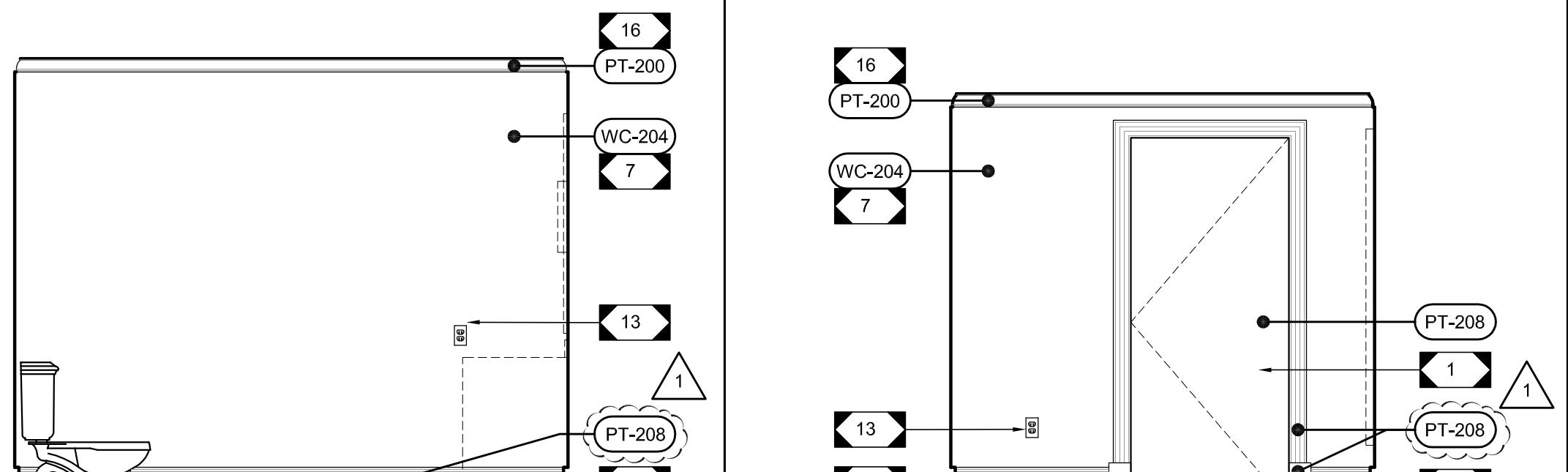


VESTIBULE ANGLED WALL ELEVATION

SCALE: 3/8 = 1'-0"

7

A



VESTIBULE LIVING RM ENTRY ELEVATION

SCALE: 3/8 = 1'-0"

8

POWDER ROOM SIDE WALL ELEVATION

SCALE: 3/8 = 1'-0"

10

POWDER ROOM SIDE WALL ELEVATION

SCALE: 3/8 = 1'-0"

11

POWDER ROOM TOILET WALL ELEVATION

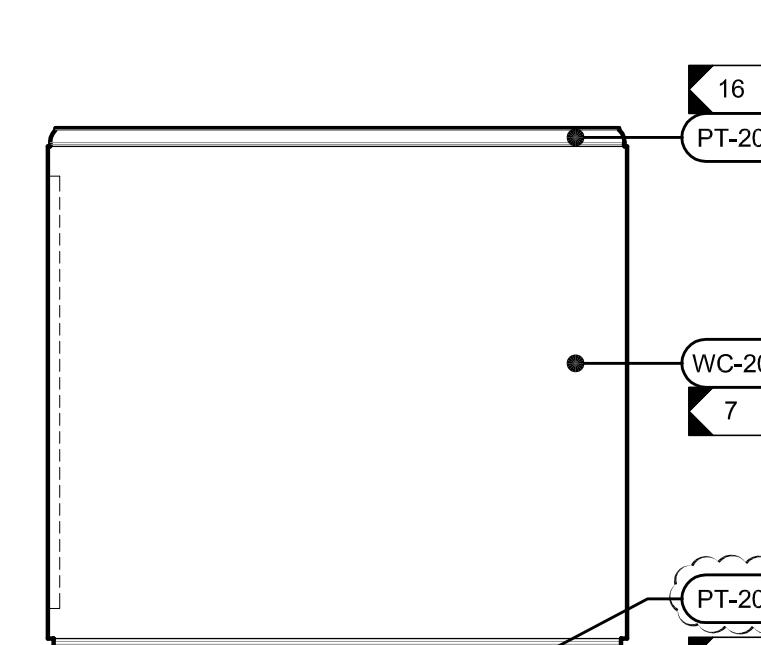
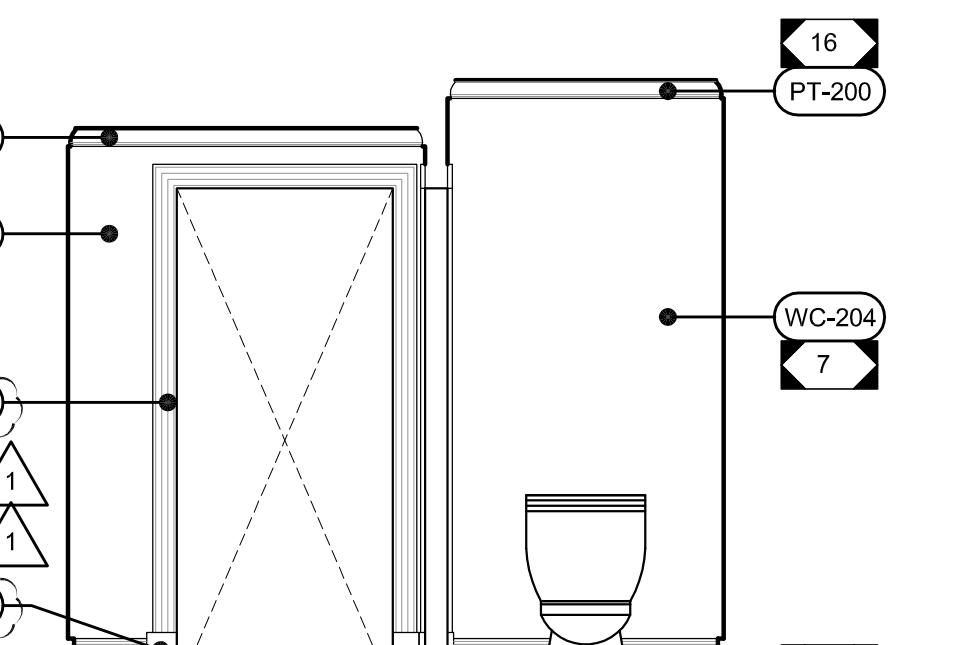
SCALE: 3/8 = 1'-0"

12

POWDER ROOM HALLWAY ELEVATION

SCALE: 3/8 = 1'-0"

13



POWDER ROOM VANITY ELEVATION

SCALE: 3/8 = 1'-0"

9

ELEVATION SHEET NOTES

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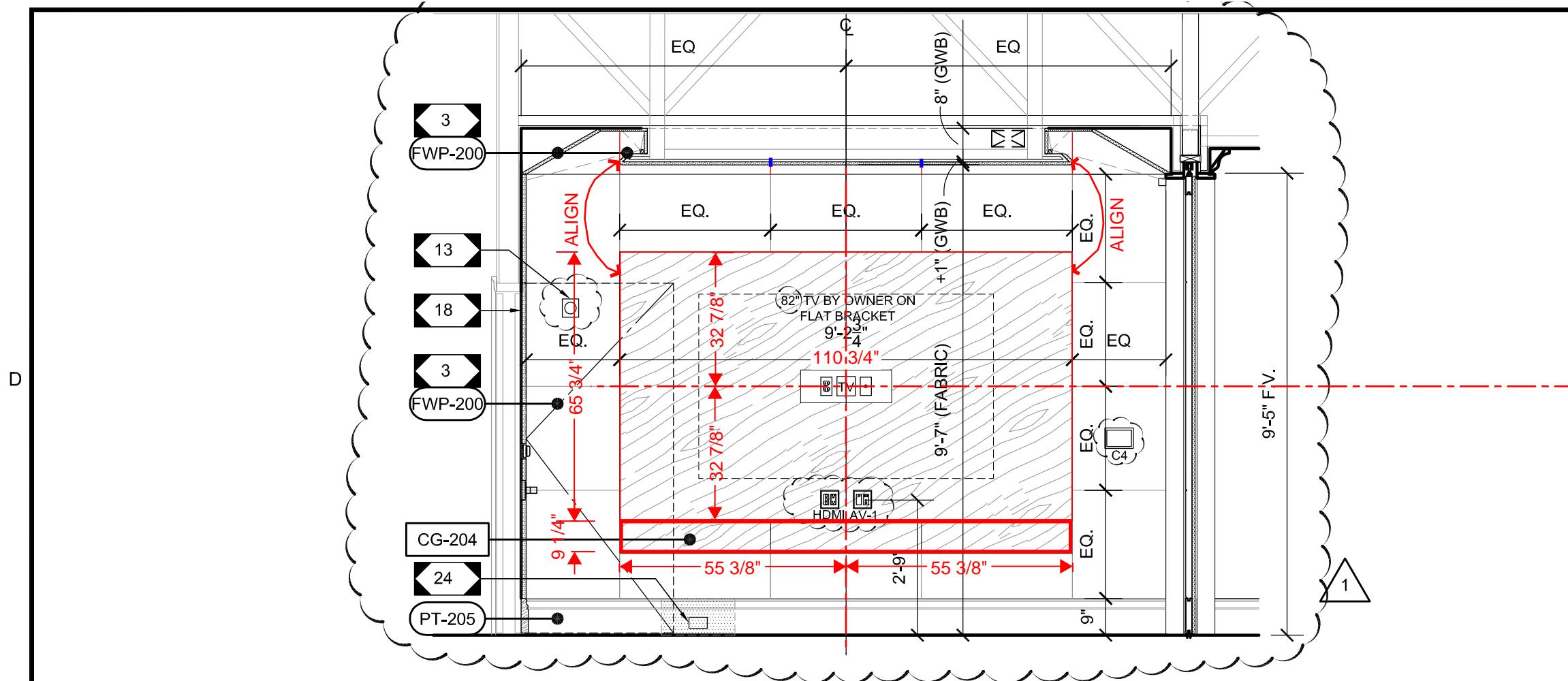
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INTERIOR ELEVATIONS

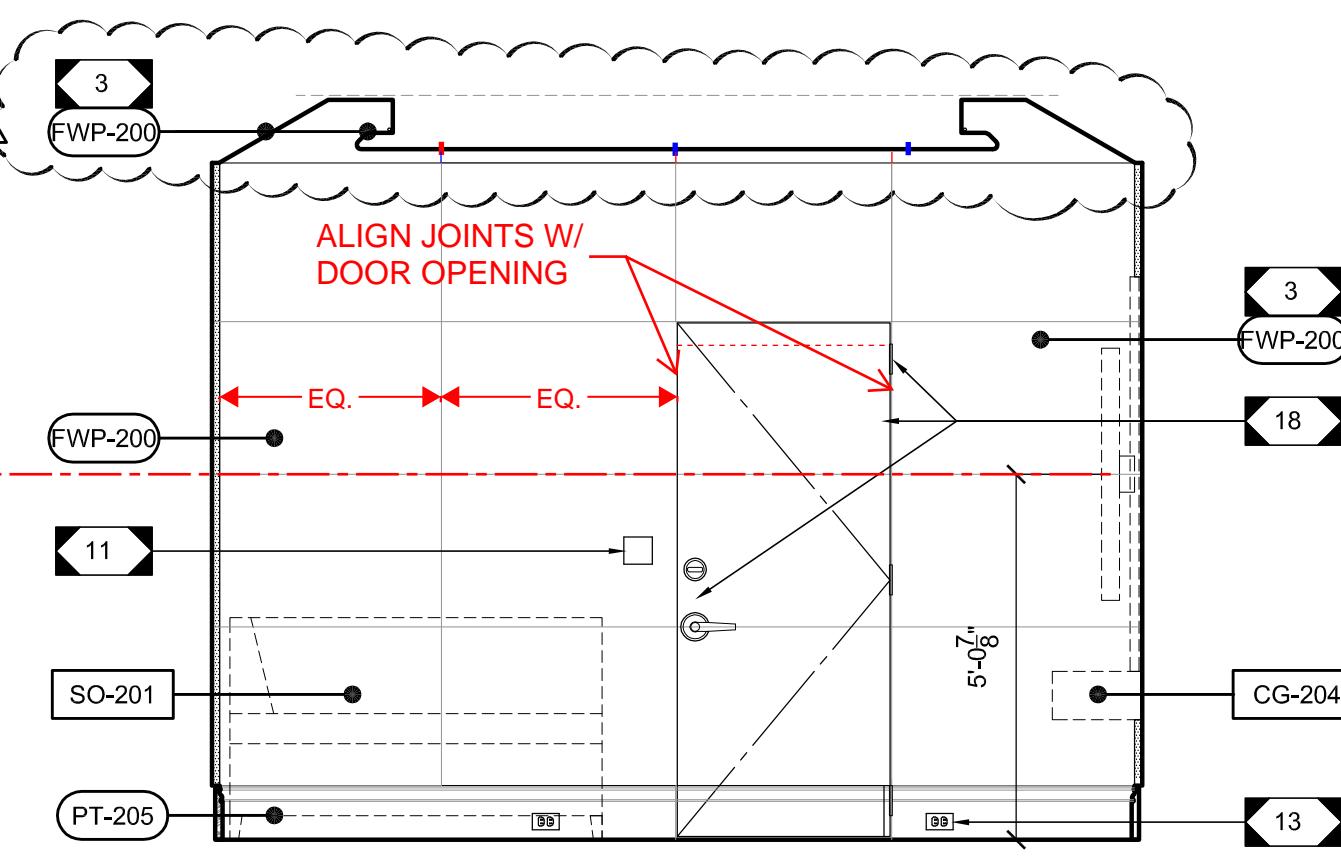
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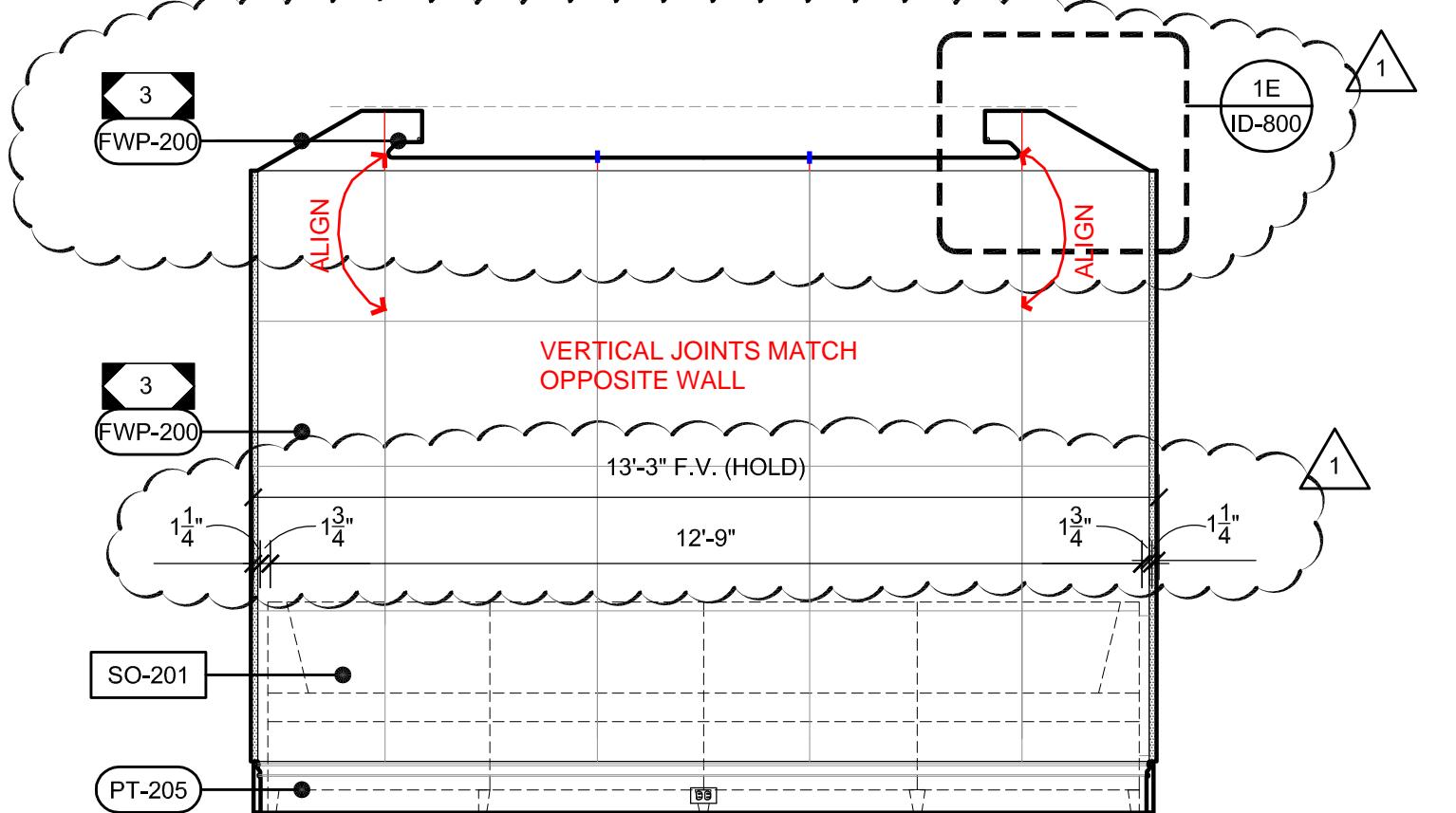
MEDIA ROOM TV WALL ELEVATION
SCALE: 3/8 = 1'-0"

1



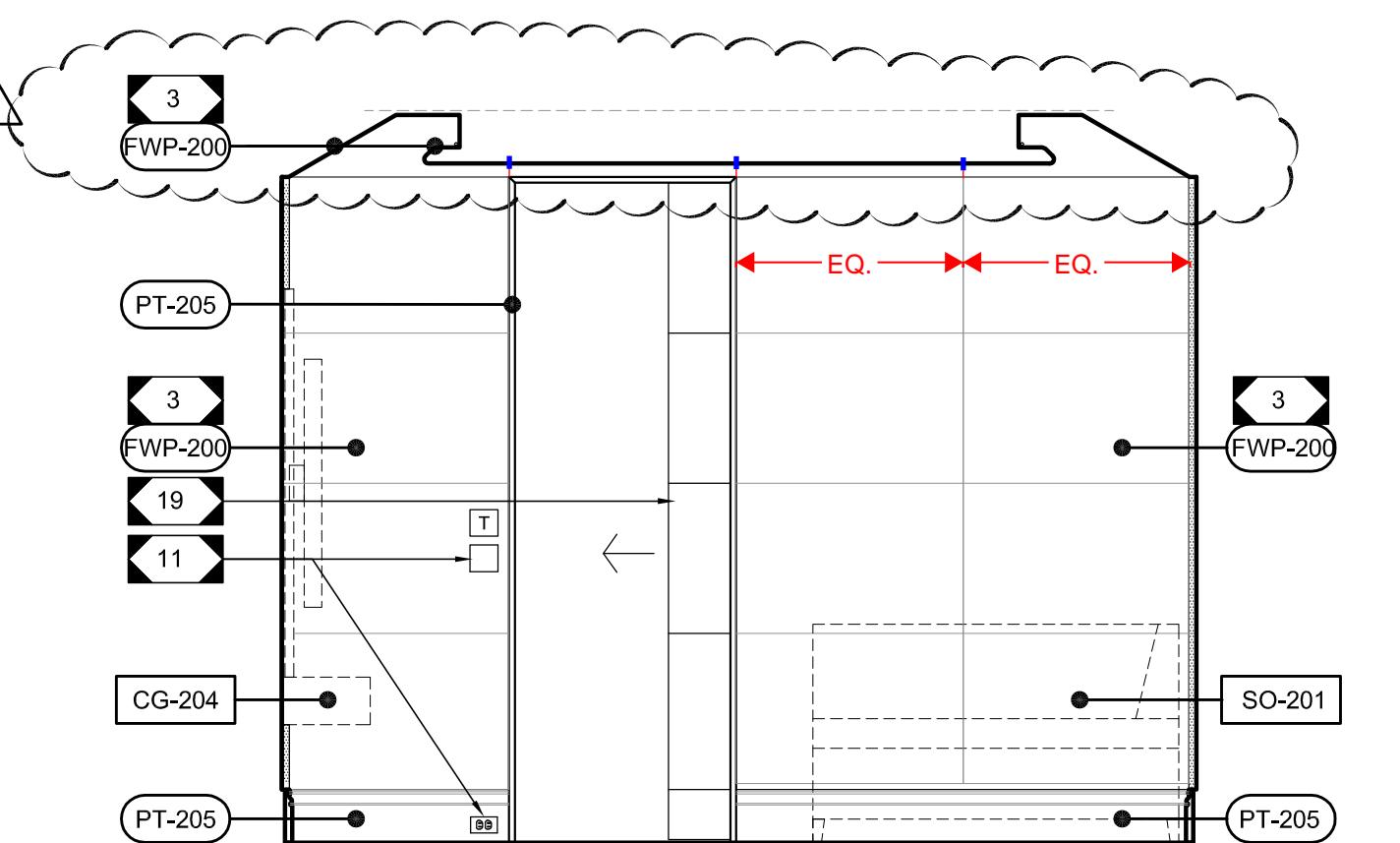
MEDIA RM CONNECTING DOOR ELEVATION
SCALE: 3/8 = 1'-0"

2



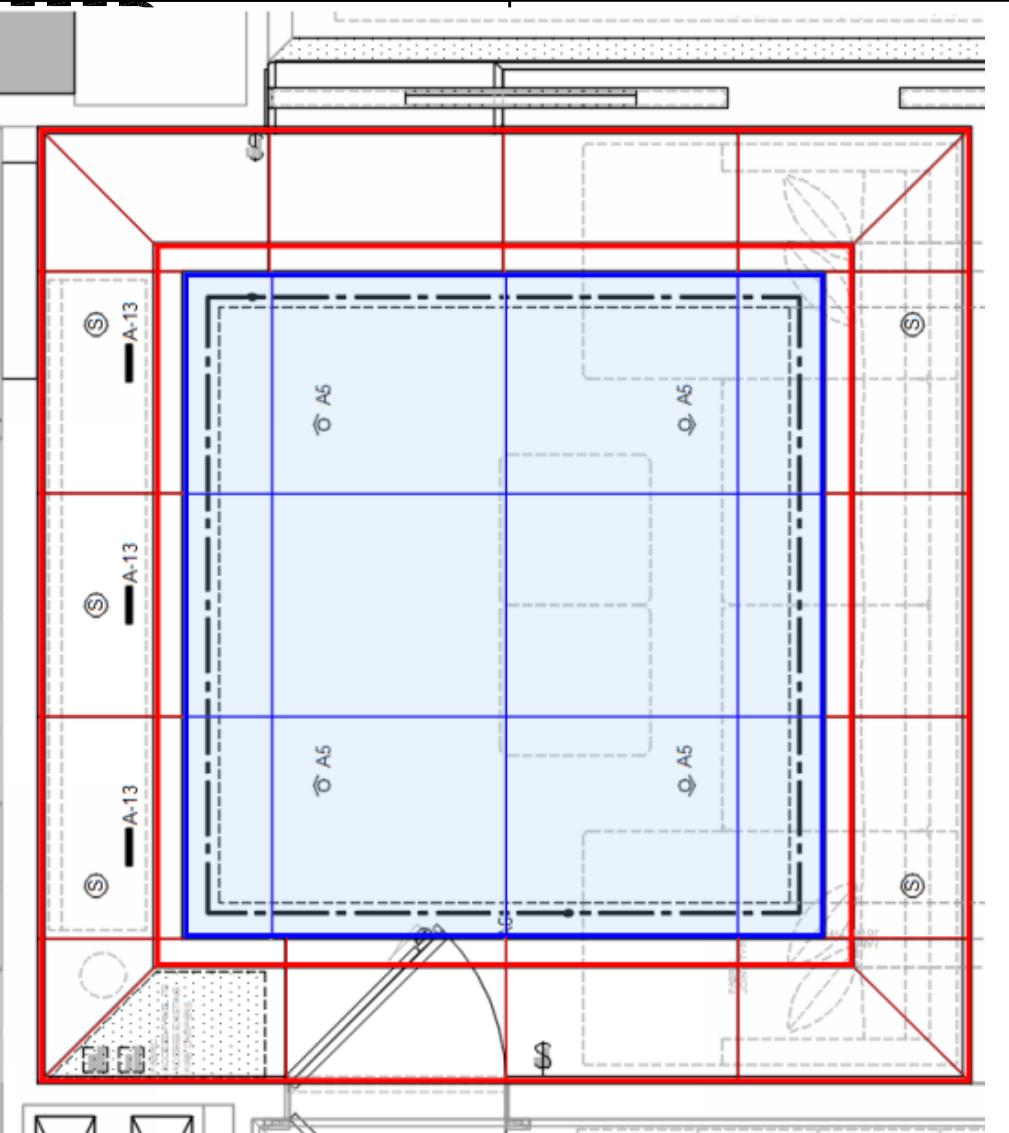
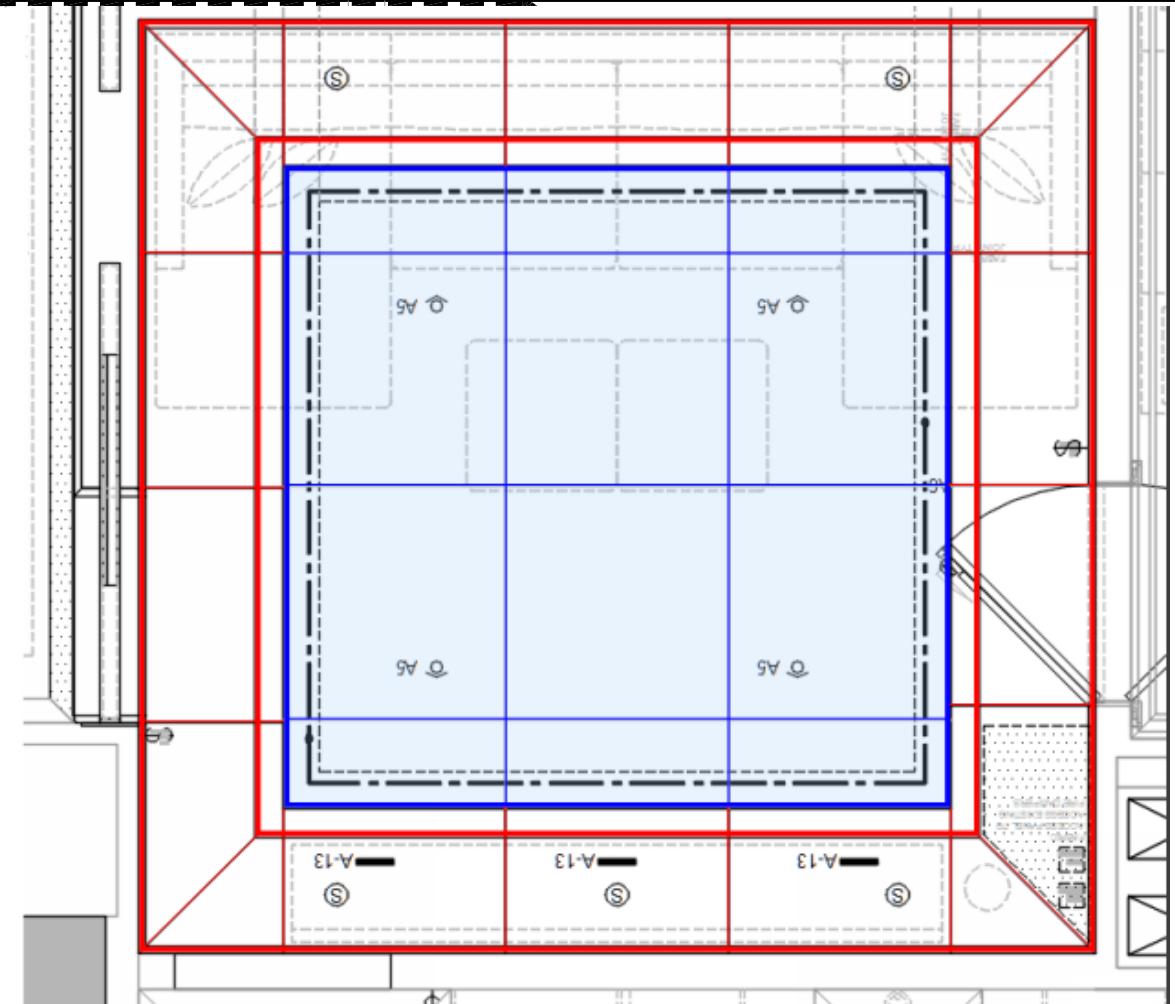
MEDIA ROOM SOFA WALL ELEVATION
SCALE: 3/8 = 1'-0"

3



MEDIA ROOM LIVING RM ENTRY ELEVATION
SCALE: 3/8 = 1'-0"

4



ELEVATION SHEET NOTES

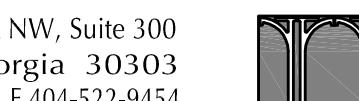
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consultants

client name and address

The Tavistock Development Co.,
6900 Tavistock Lakes Boulevard
Suite #200
Orlando, FL 32827

key plan and project address

The St. Regis Atlanta
Eighty-Eight West Paces Ferry Road
Atlanta GA, 30305
Empire Suite Renovation

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2018-12-18 .1 .CLARIFICATION DRAWINGS

scale AS NOTED

date 2018-08-17

drawn by BC/JLM

checked JLM

project no. 1714.05

drawing title

INTERIOR ELEVATIONS

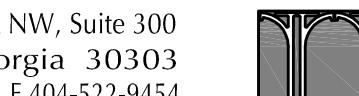
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drawing no.

ID-601



ELEVATION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
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- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
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ELEVATION KEYNOTES

- EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET, REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.
- NEW UPHOLSTERED WALL PANELS. PREP WALL FOR PANEL CLEATS. SEE FINISH SCHEDULE FOR PANEL TYPE AND MATERIAL.
- EXISTING FIREPLACE, HEARTH, MANTLE, AND SURROUNDING WALL TILE TO REMAIN. REFURBISH TO LIKE NEW CONDITION. $\frac{3}{8}$ INCH PLYWOOD SHELL PAINTED TO MATCH STONE FOR TV BRACKET INSTALL.
- NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH G.Y.P. BOARD AS REQUIRED.
- NEW UNDER COUNTER REFRIGERATOR AND/OR ICE MAKER. INSTALL NEW POWER/DATA FOR UNDER COUNTER EQUIPMENT.
- NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
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- NEW $1\frac{1}{2}$ INCH DEEP WHITE PLASTIC LAMINATE SHELVES ON WHITE KNAPE AND VOUGHT BRACKETS AND PILASTER STANDARDS.
- NEW INSET $\frac{1}{4}$ INCH THICK, TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
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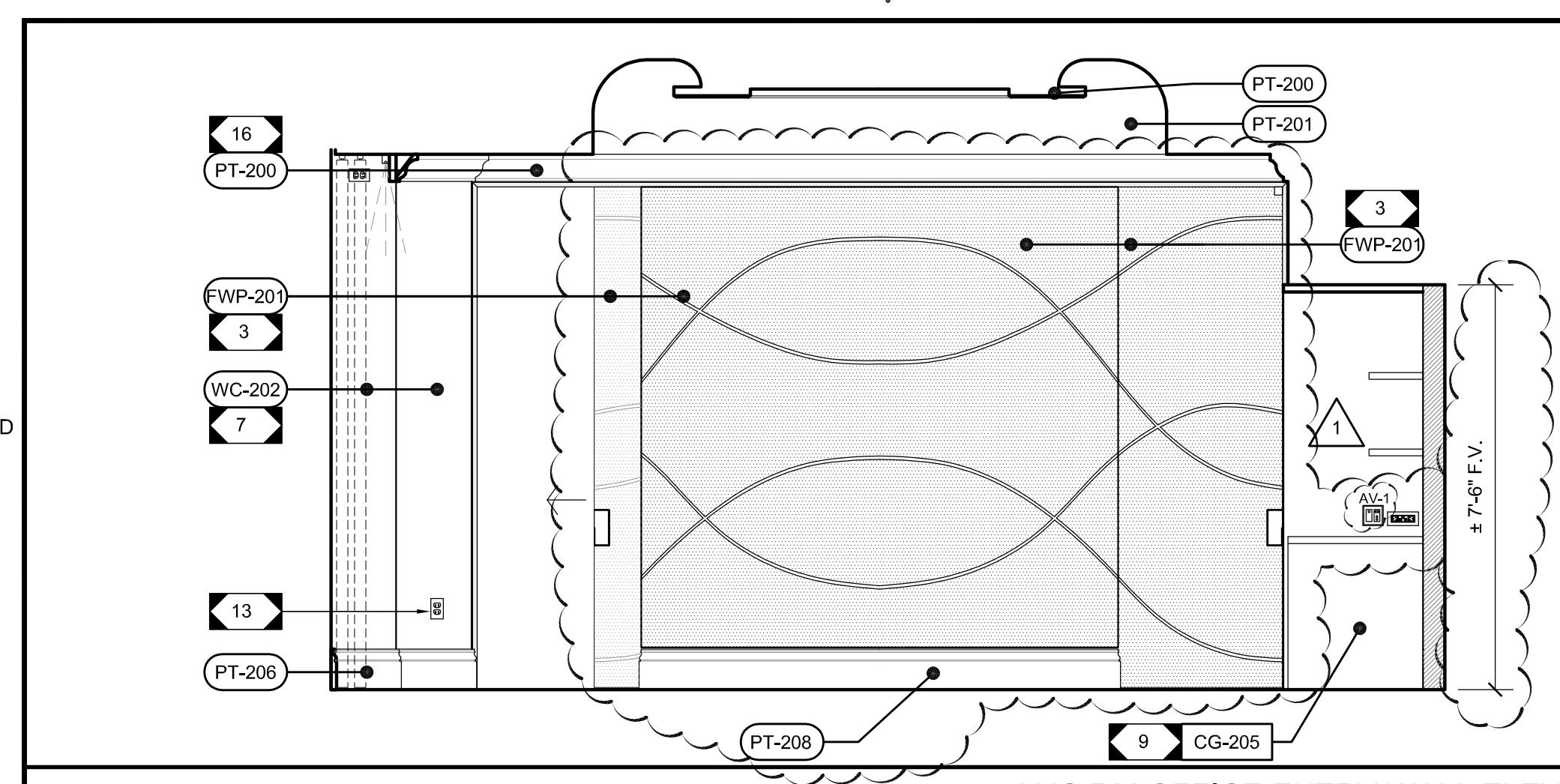
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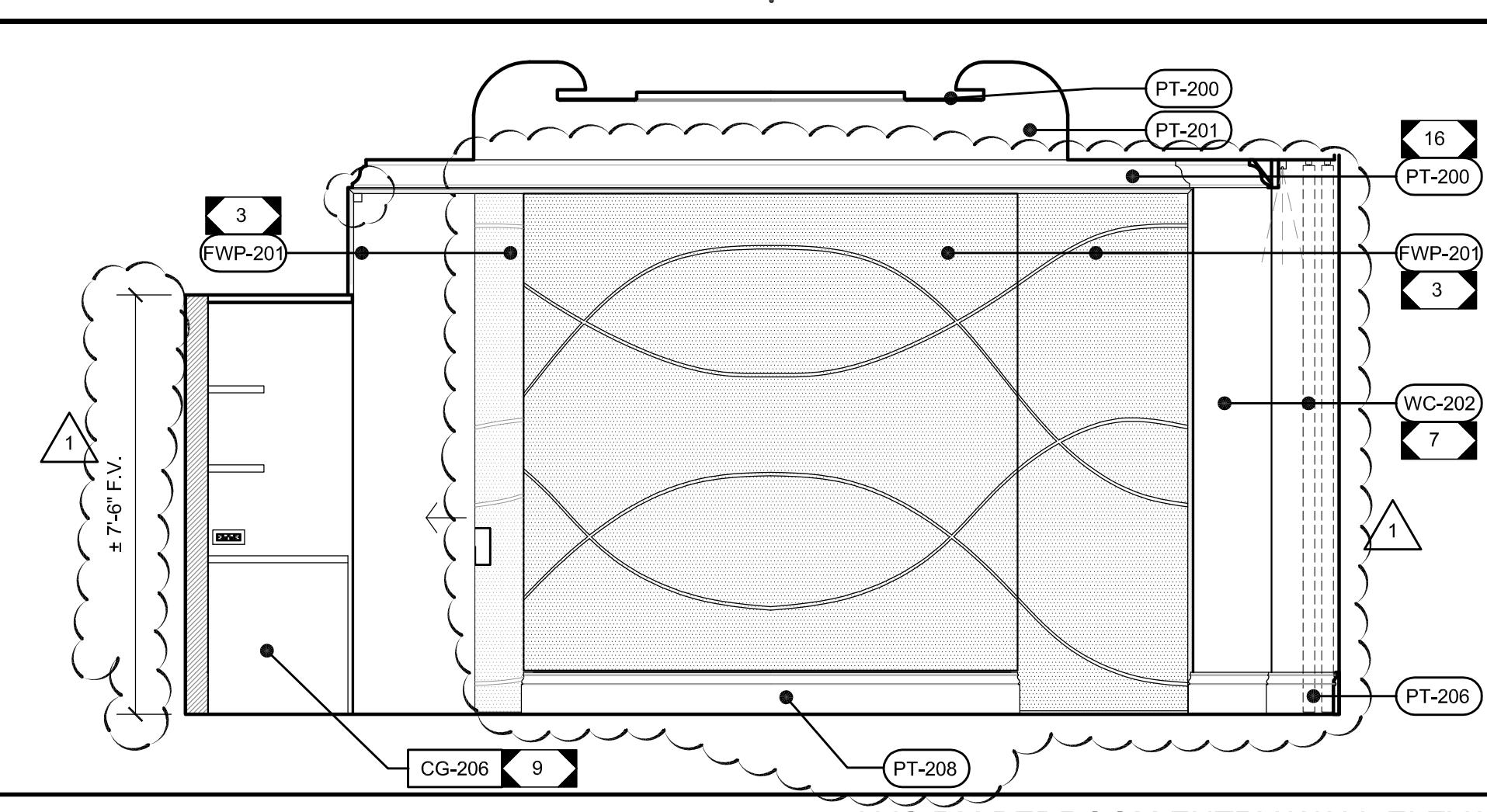
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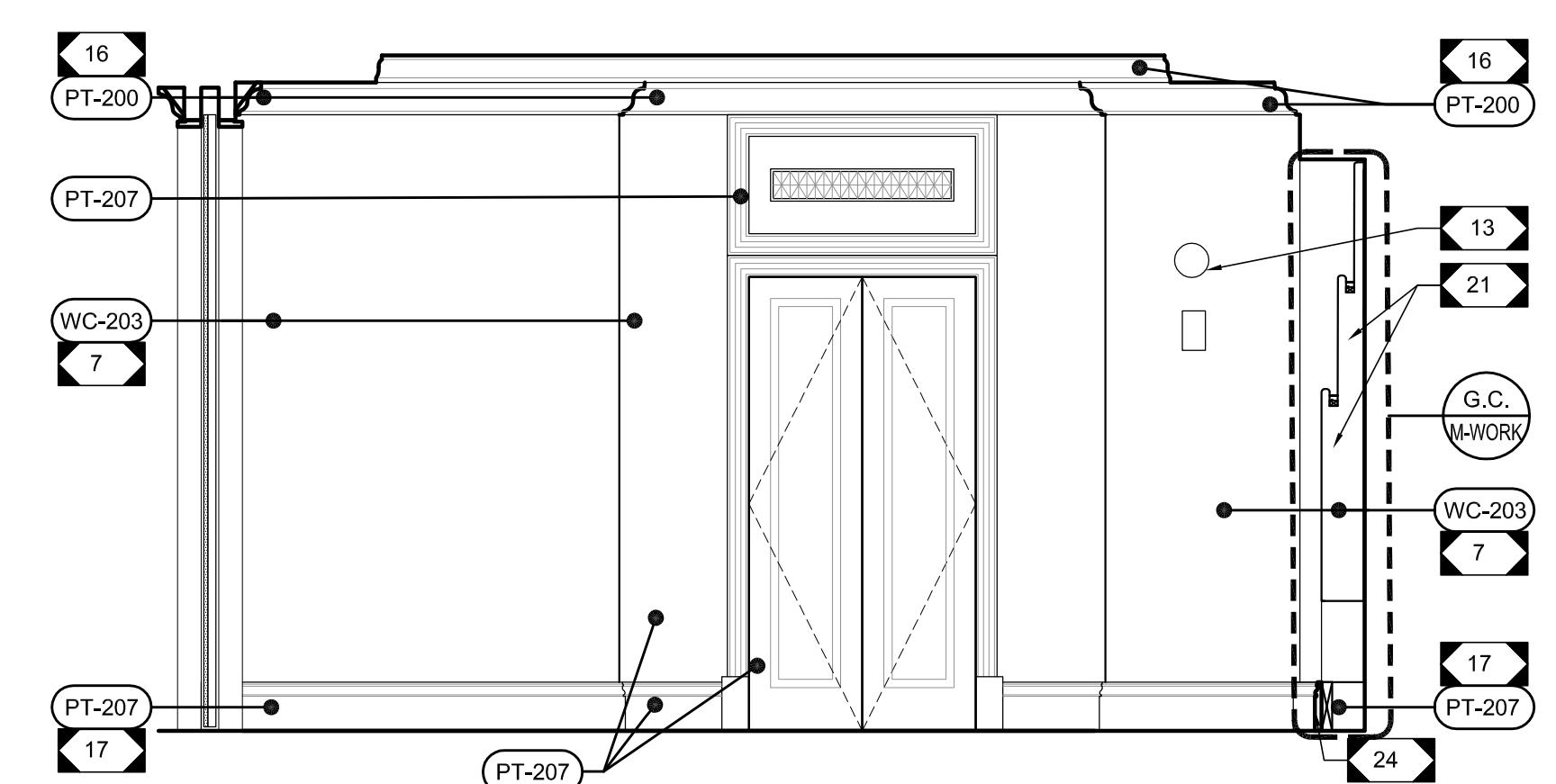
LGV RM OFFICE ENTRY WALL ELEVATION

SCALE: 3/8 = 1'-0"



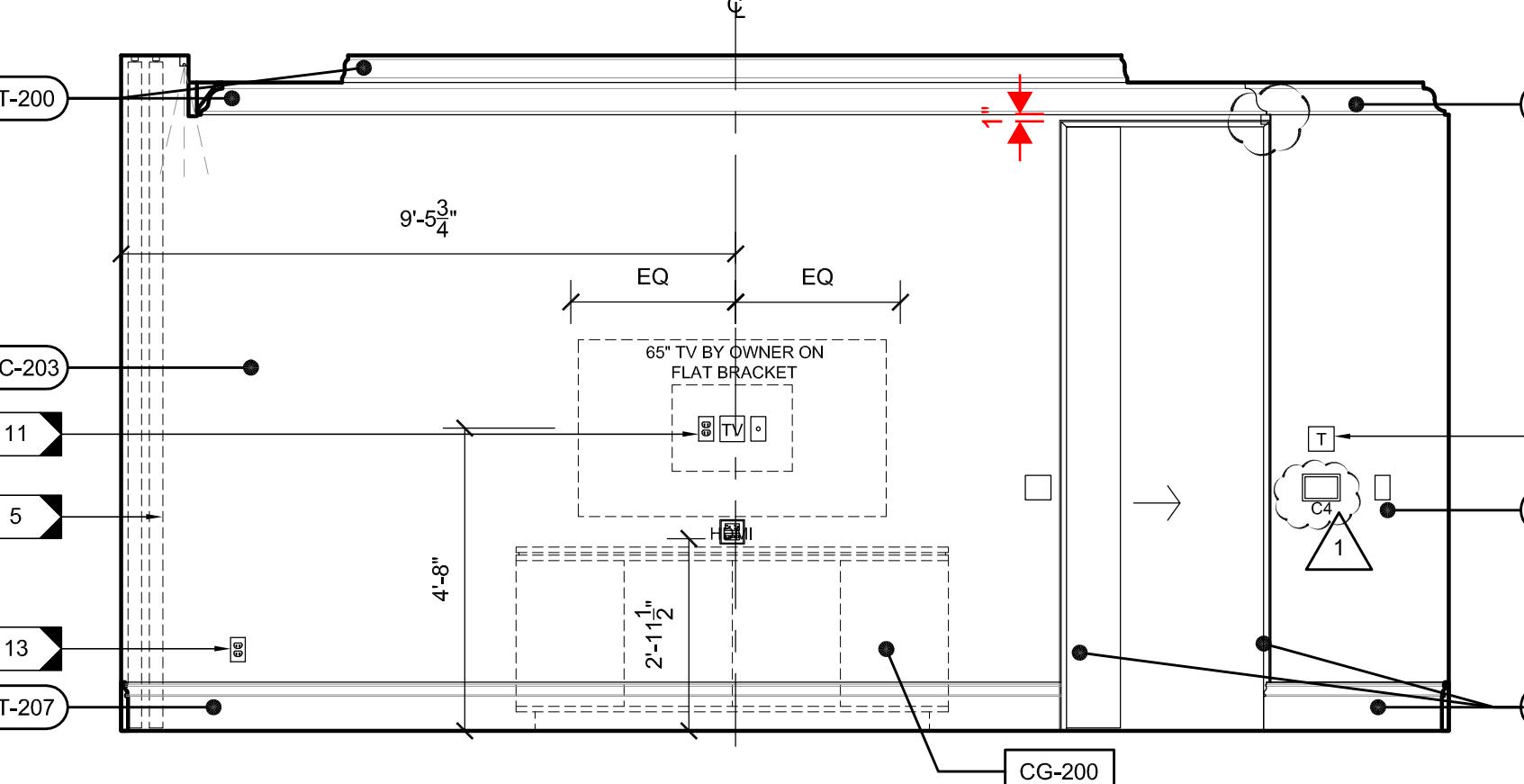
LGV RM BEDROOM ENTRY WALL ELEVATION

SCALE: 3/8 = 1'-0"



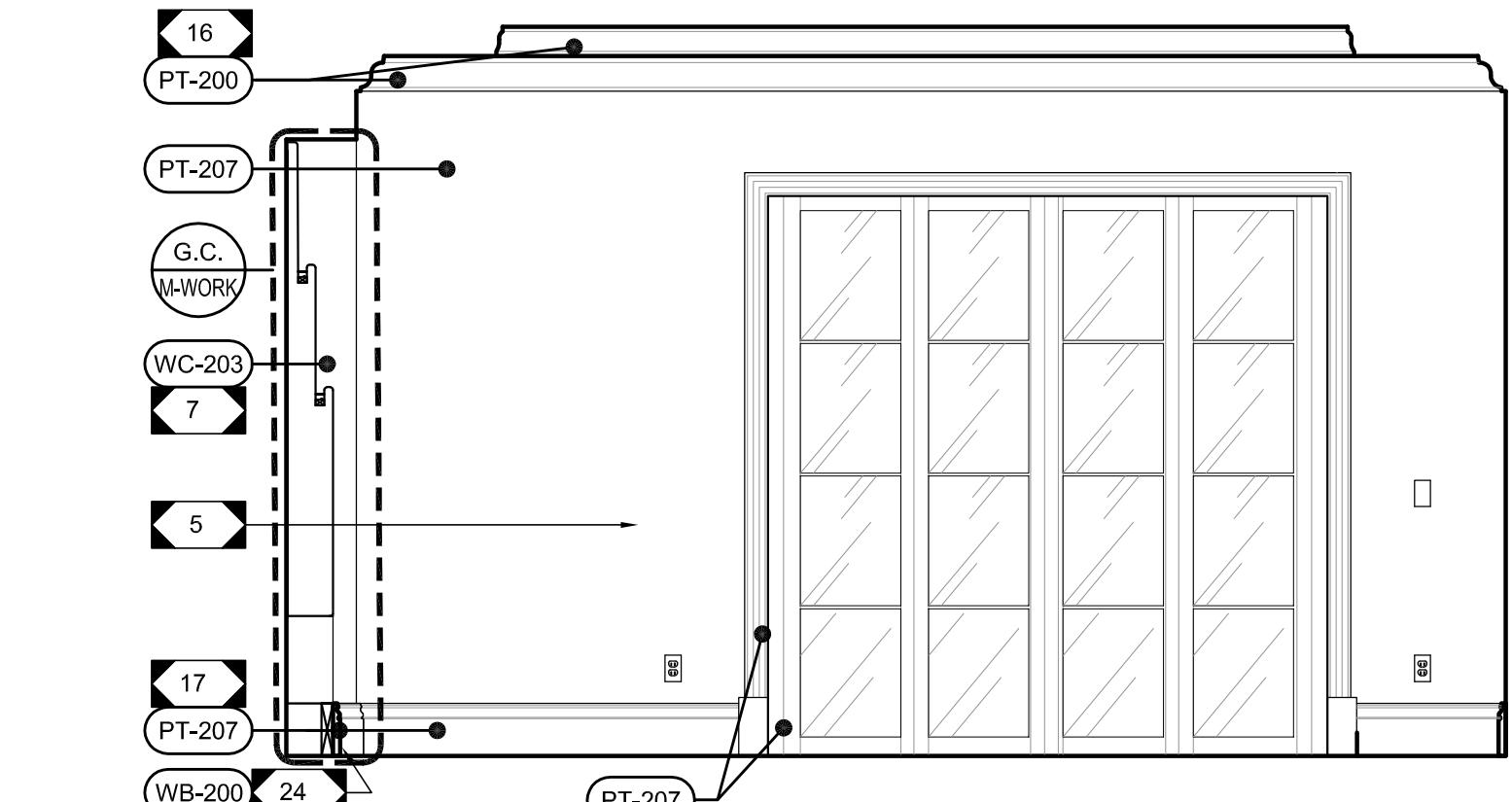
MASTER BEDROOM BATH ENTRY WALL ELEVATION

SCALE: 3/8 = 1'-0"



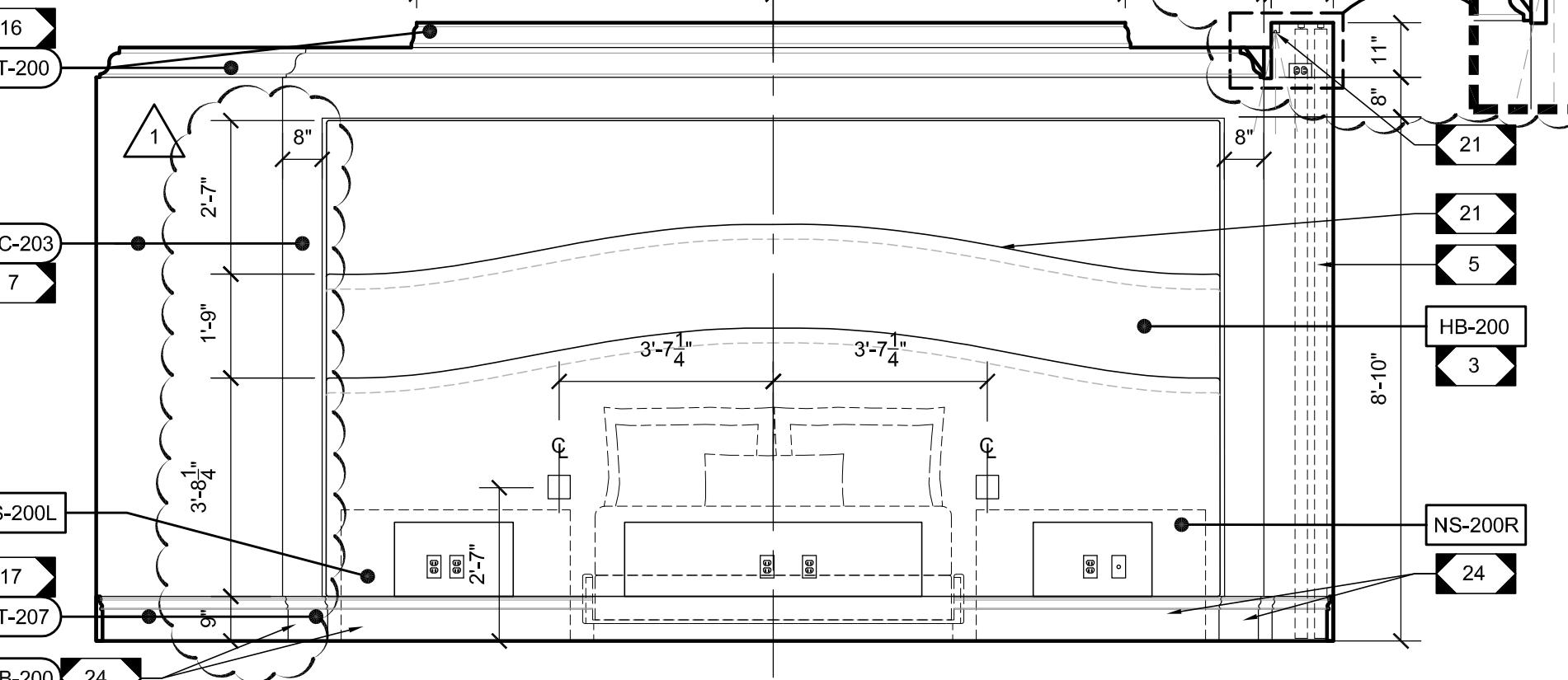
MASTER BEDROOM TV WALL ELEVATION

SCALE: 3/8 = 1'-0"



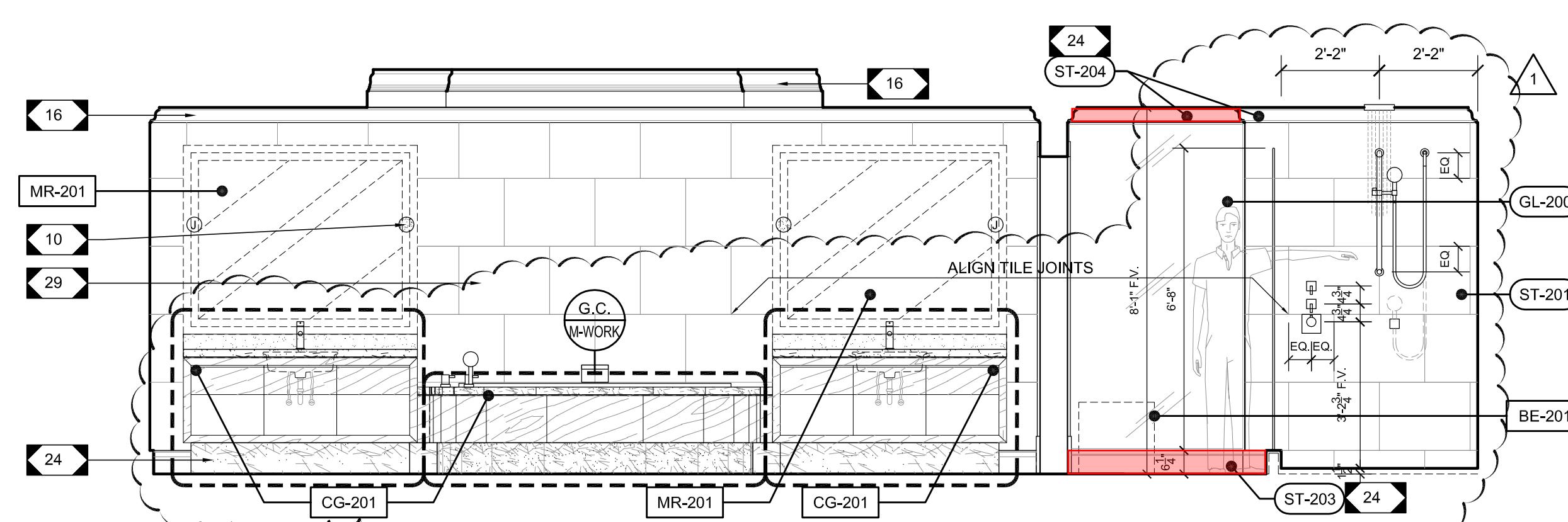
MASTER BEDROOM WINDOW WALL ELEVATION

SCALE: 3/8 = 1'-0"



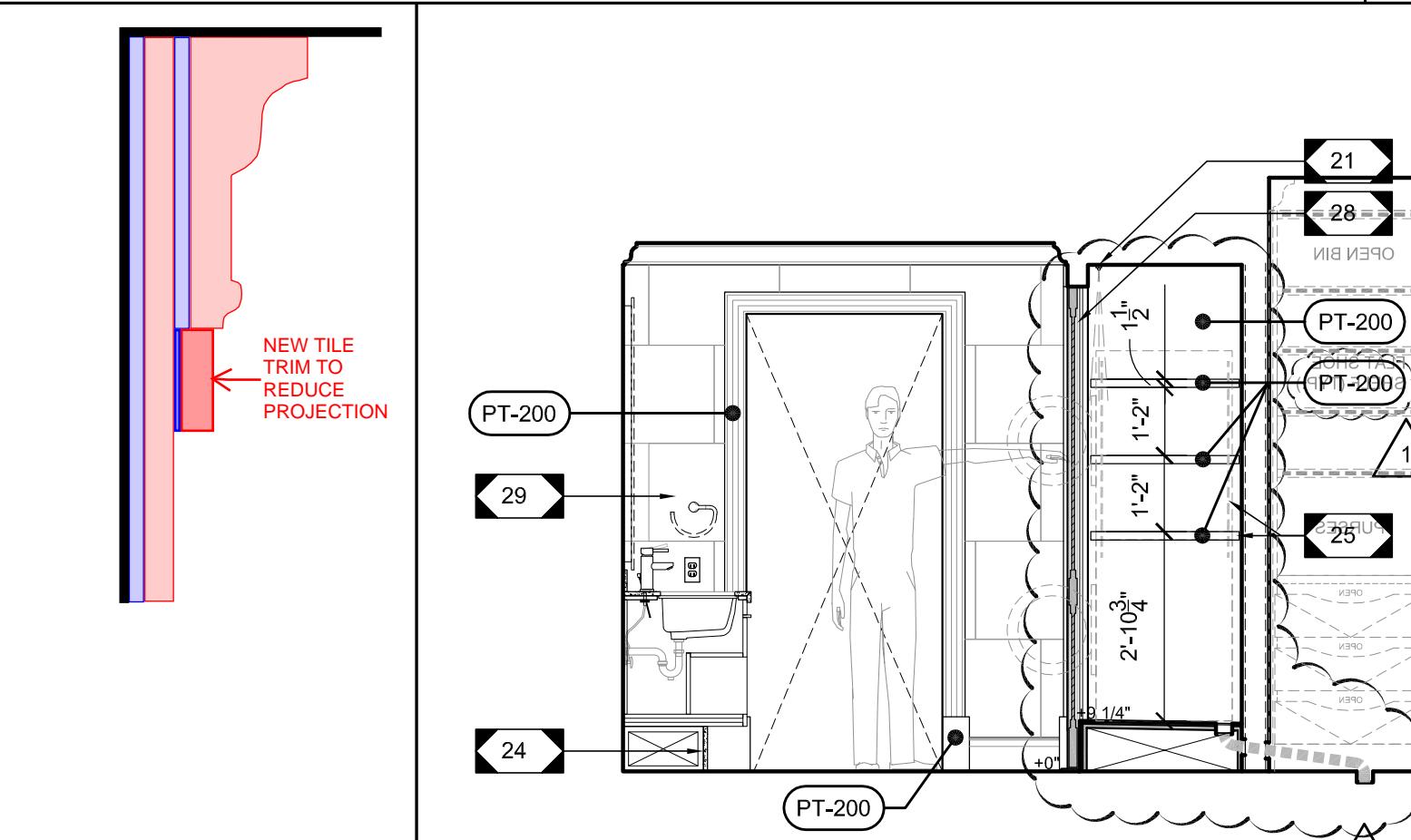
MASTER BEDROOM HEADBOARD WALL ELEVATION

SCALE: 3/8 = 1'-0"



MASTER BATH VANITY WALL ELEVATION

SCALE: 3/8 = 1'-0"



MASTER BATH PORTAL ELEVATION

SCALE: 3/8 = 1'-0"



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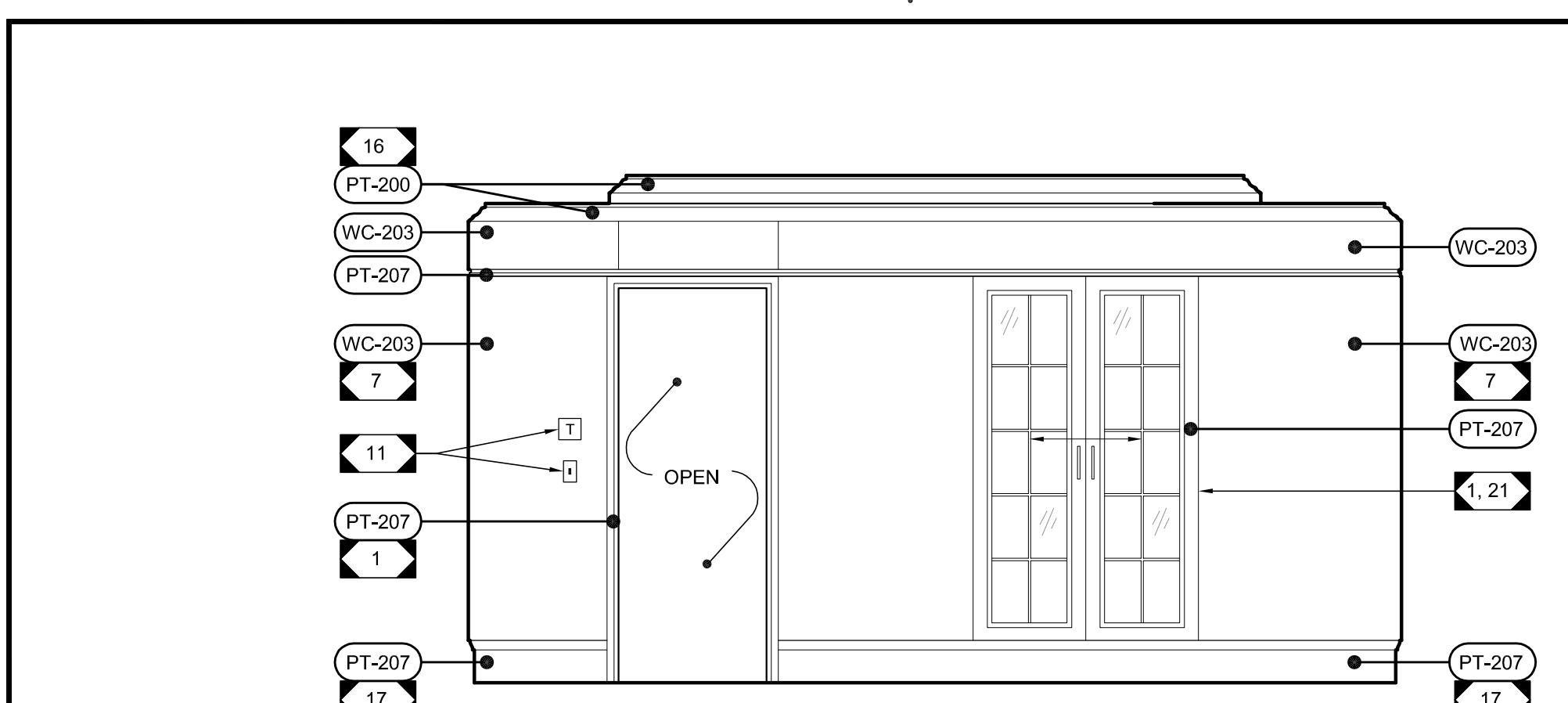
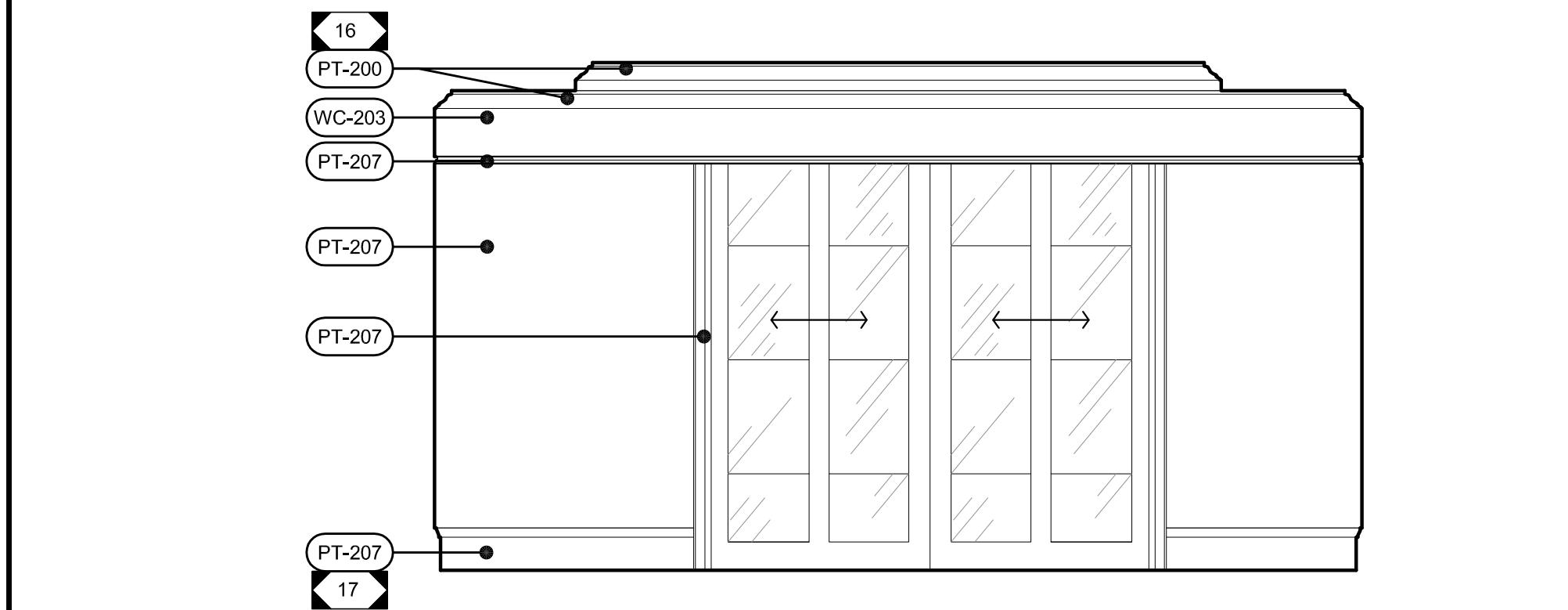
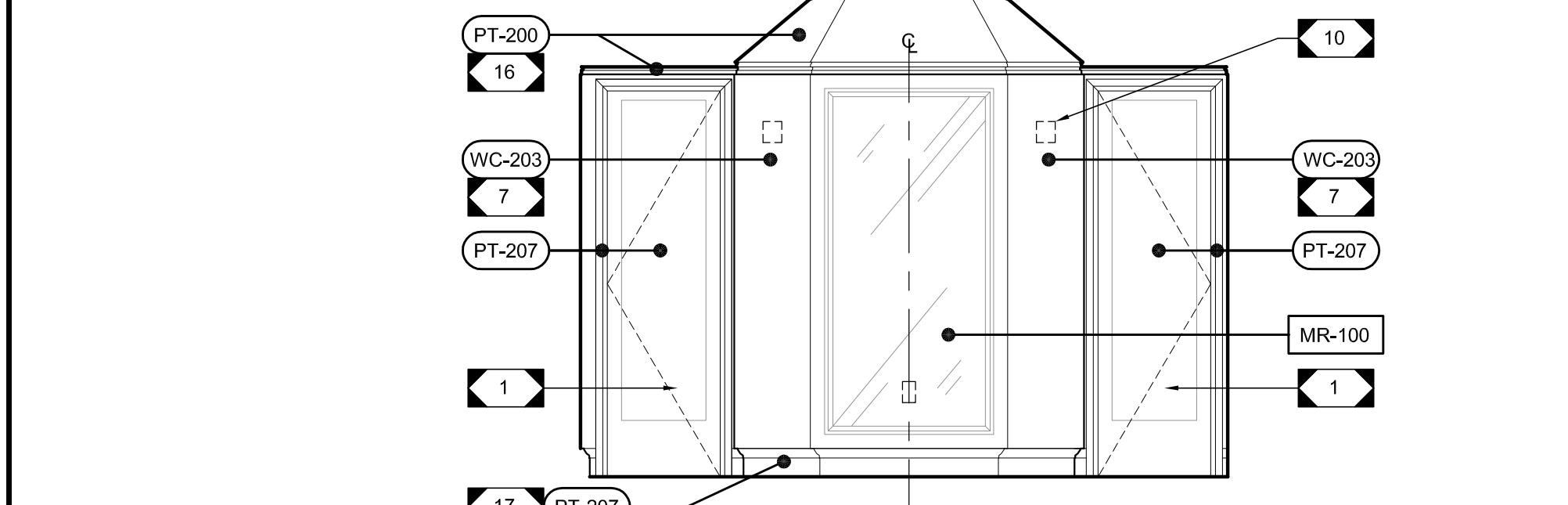
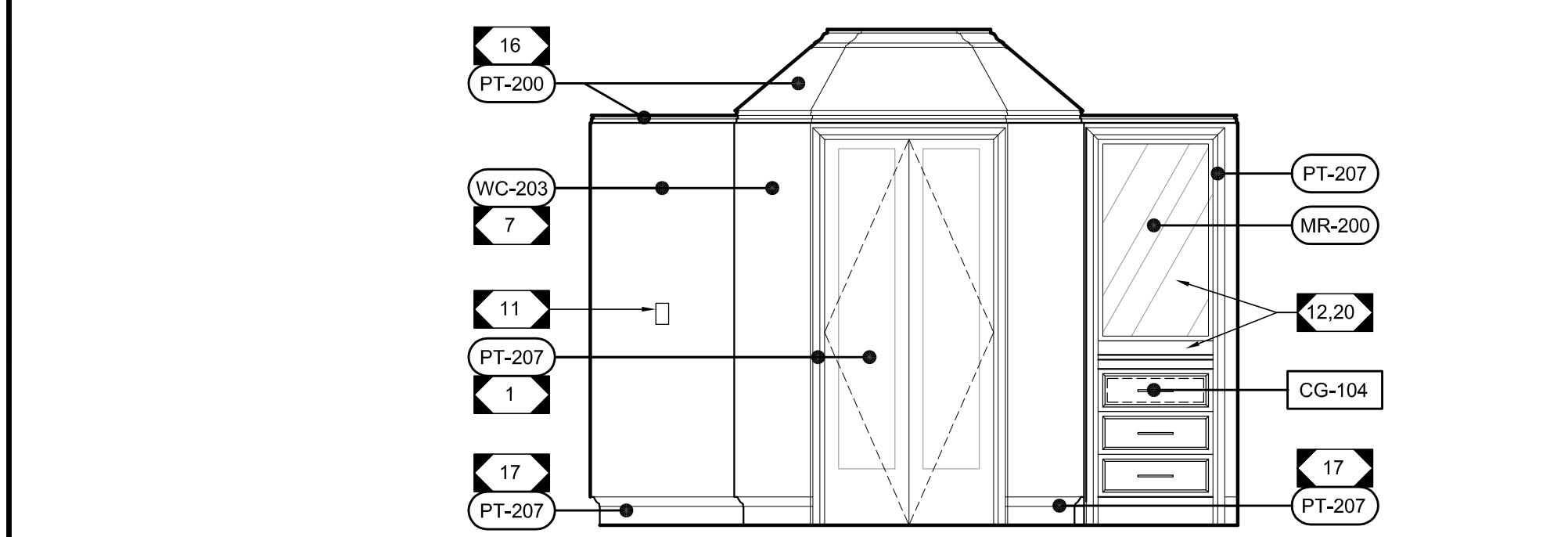
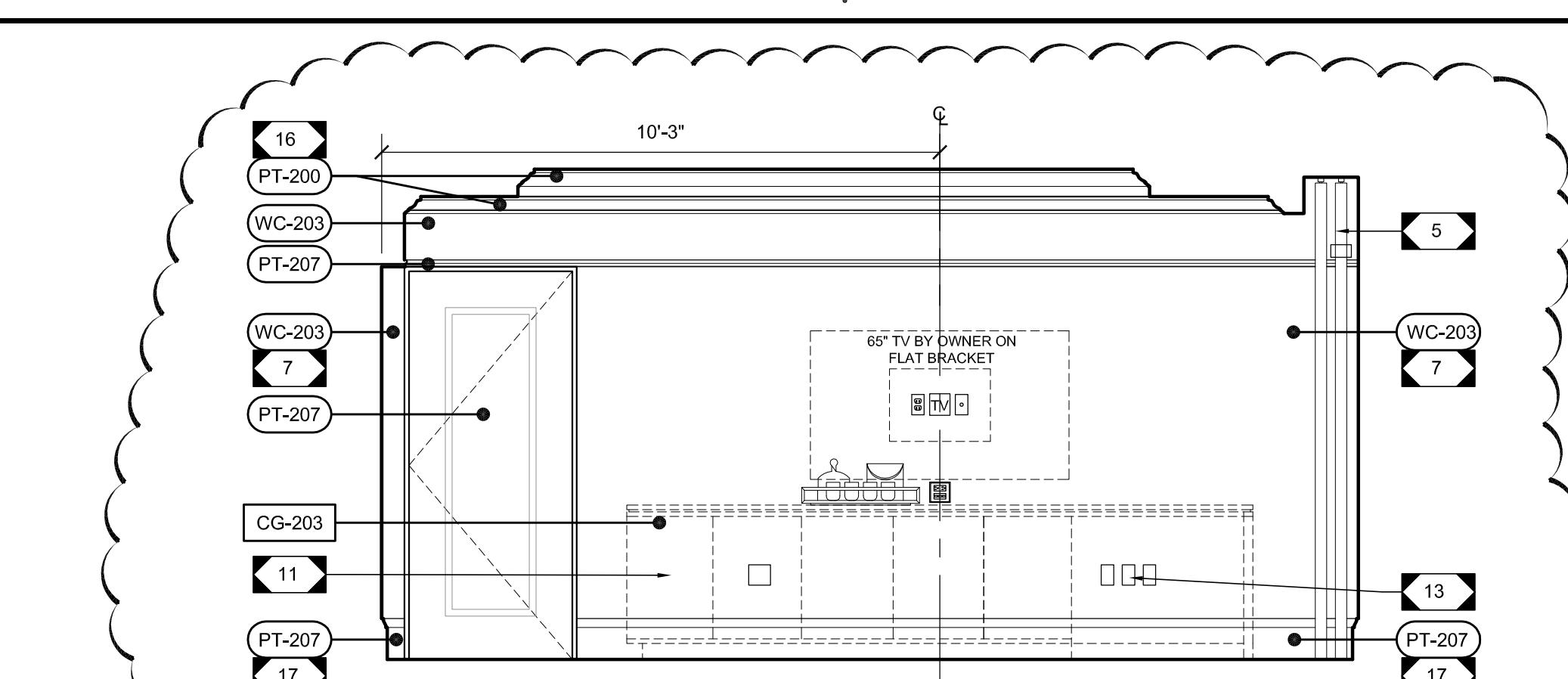
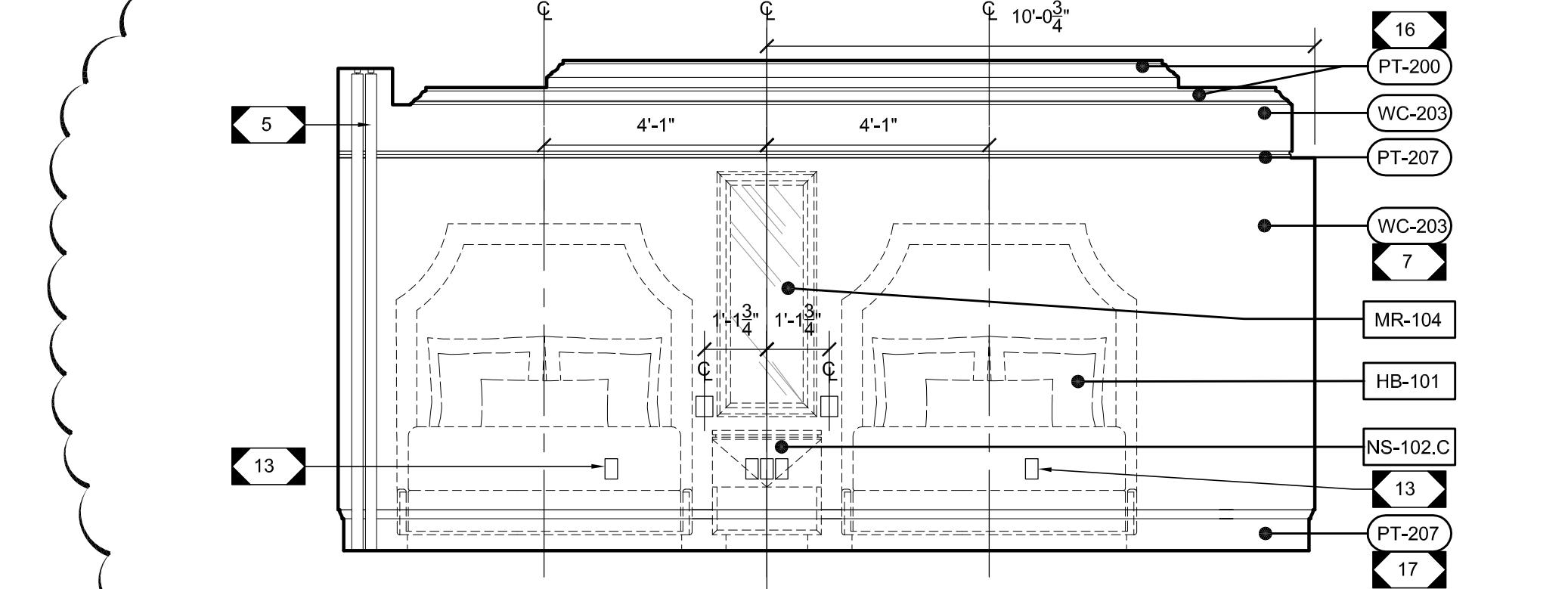
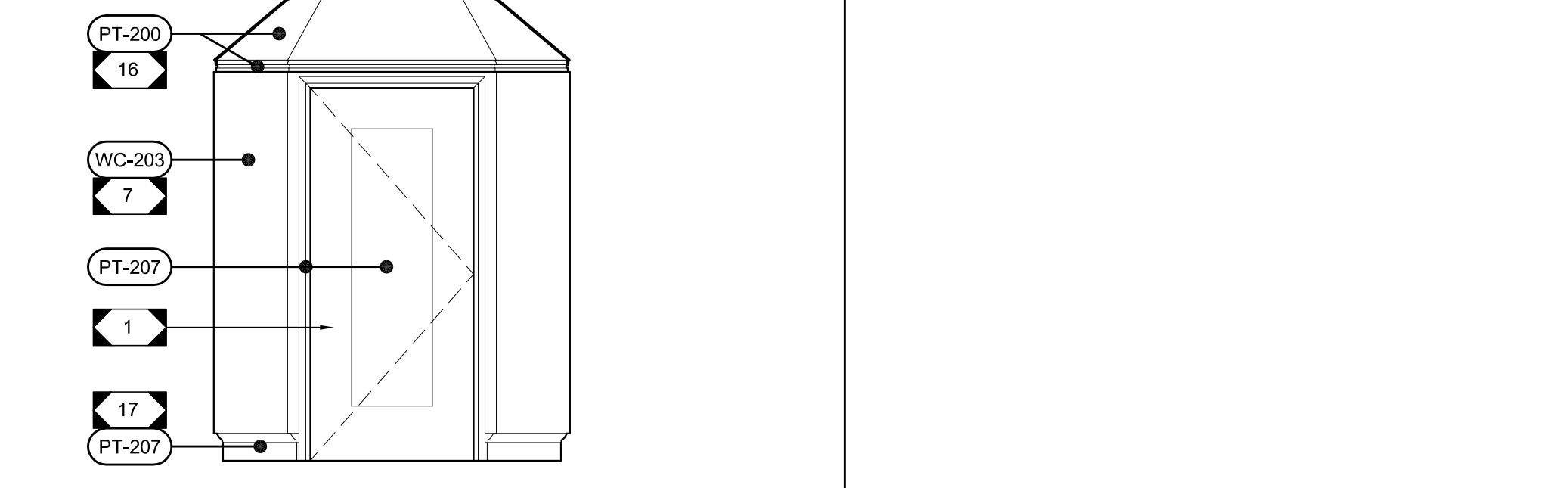
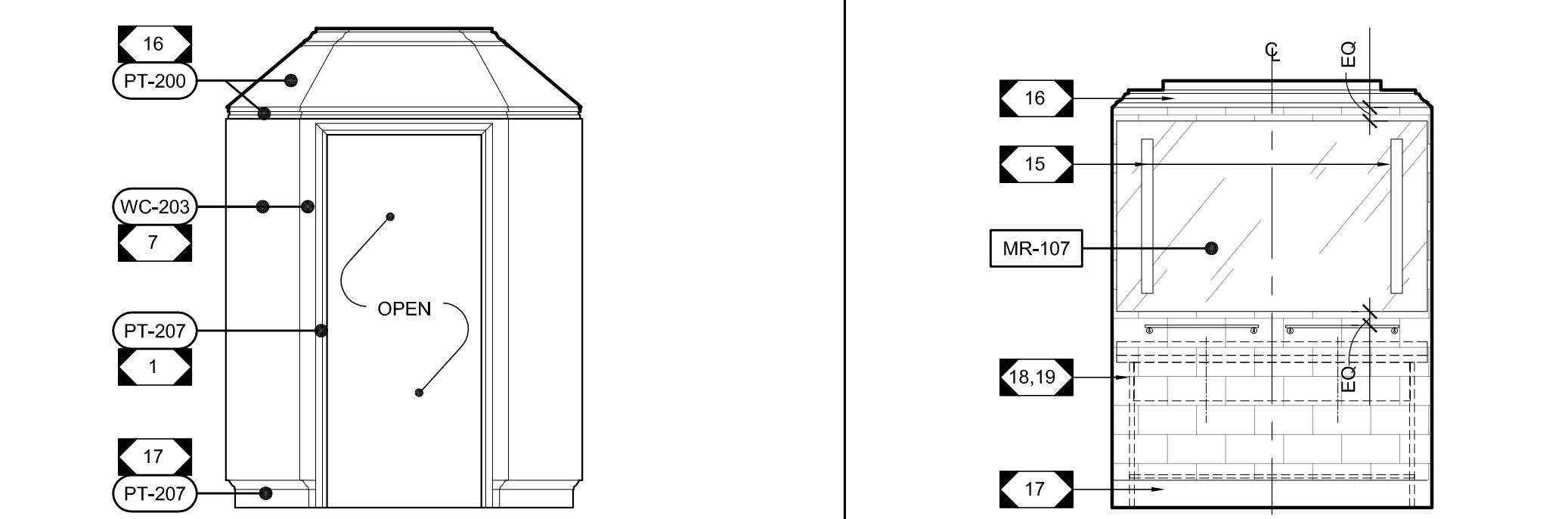
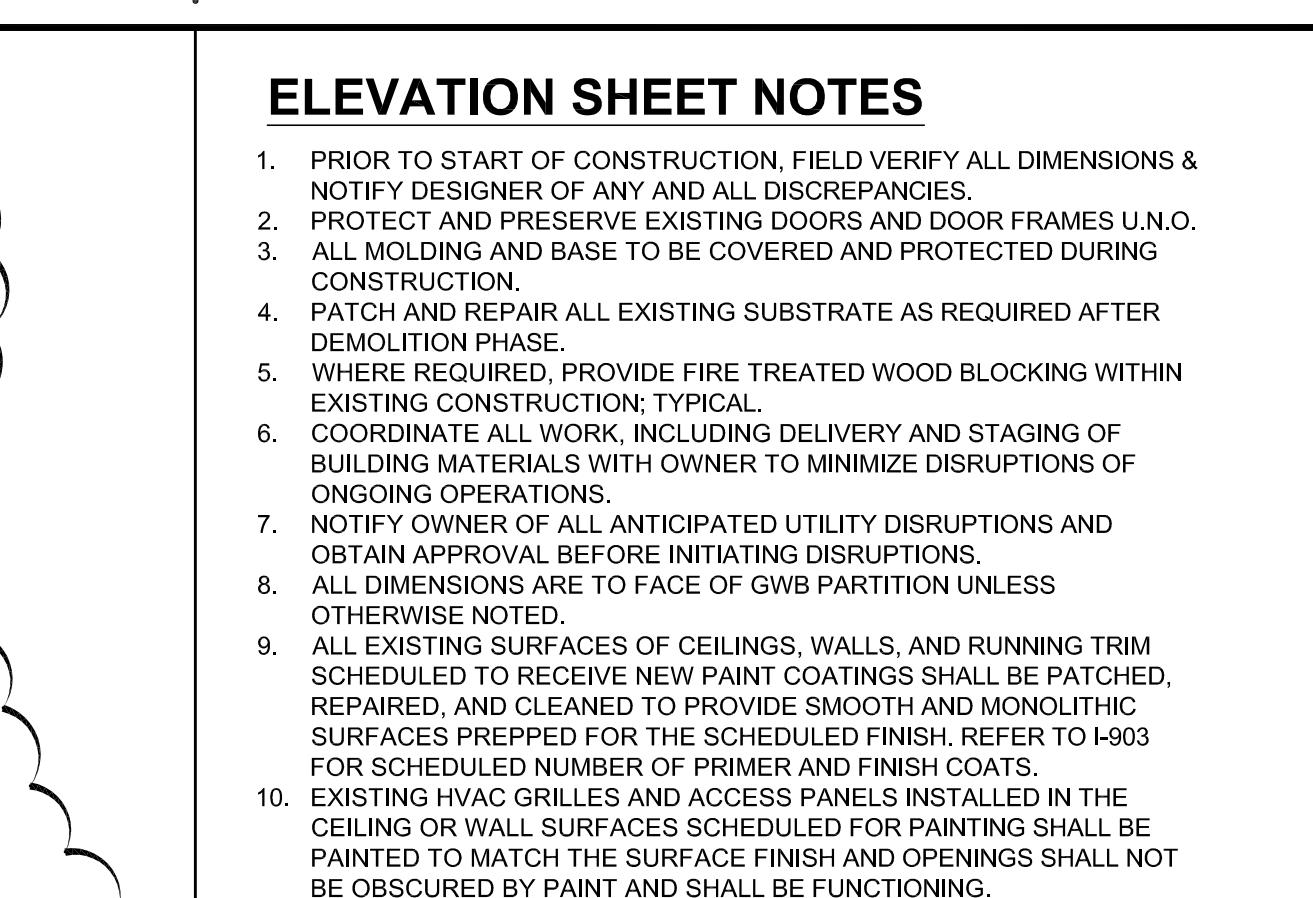
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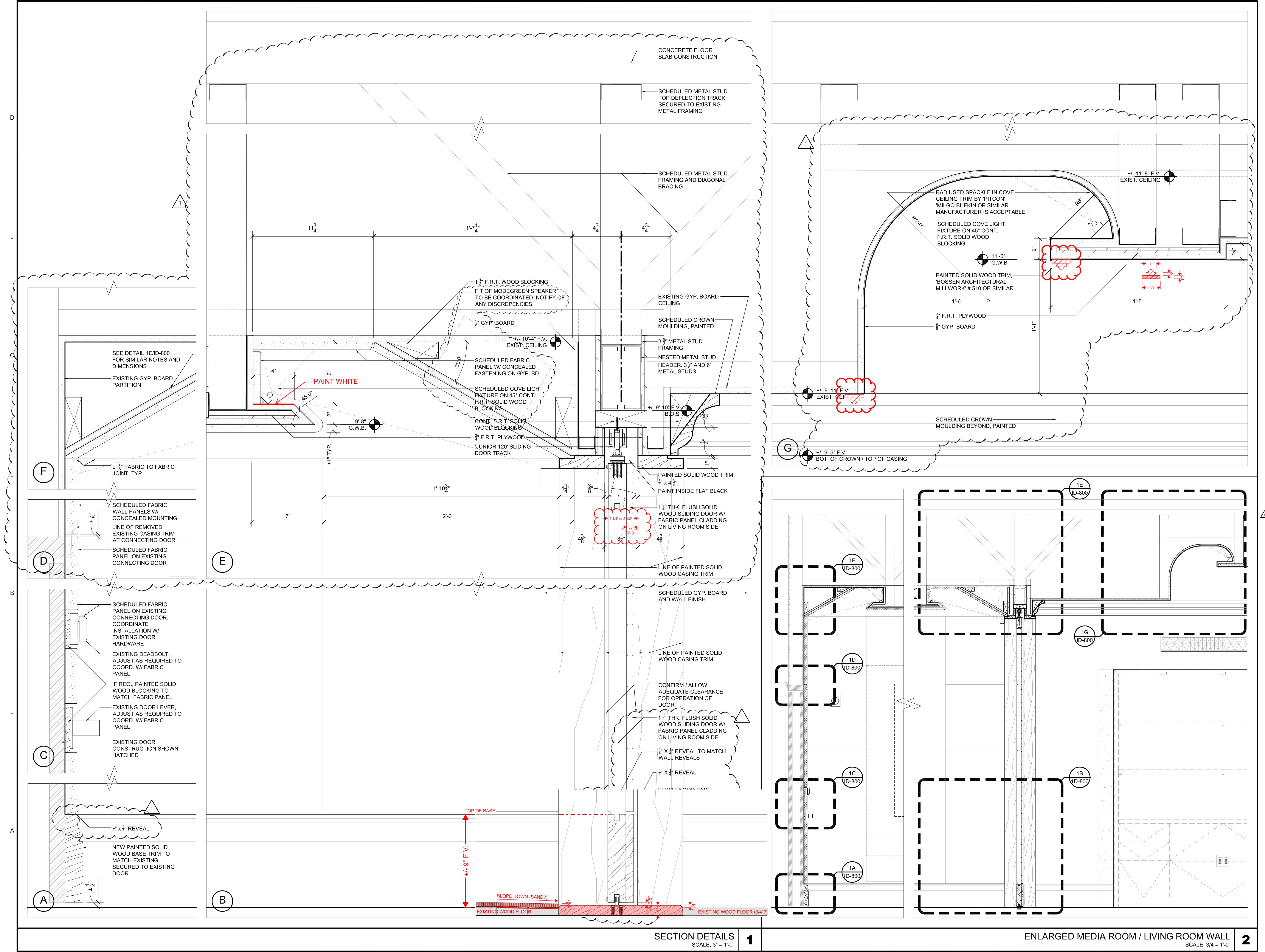
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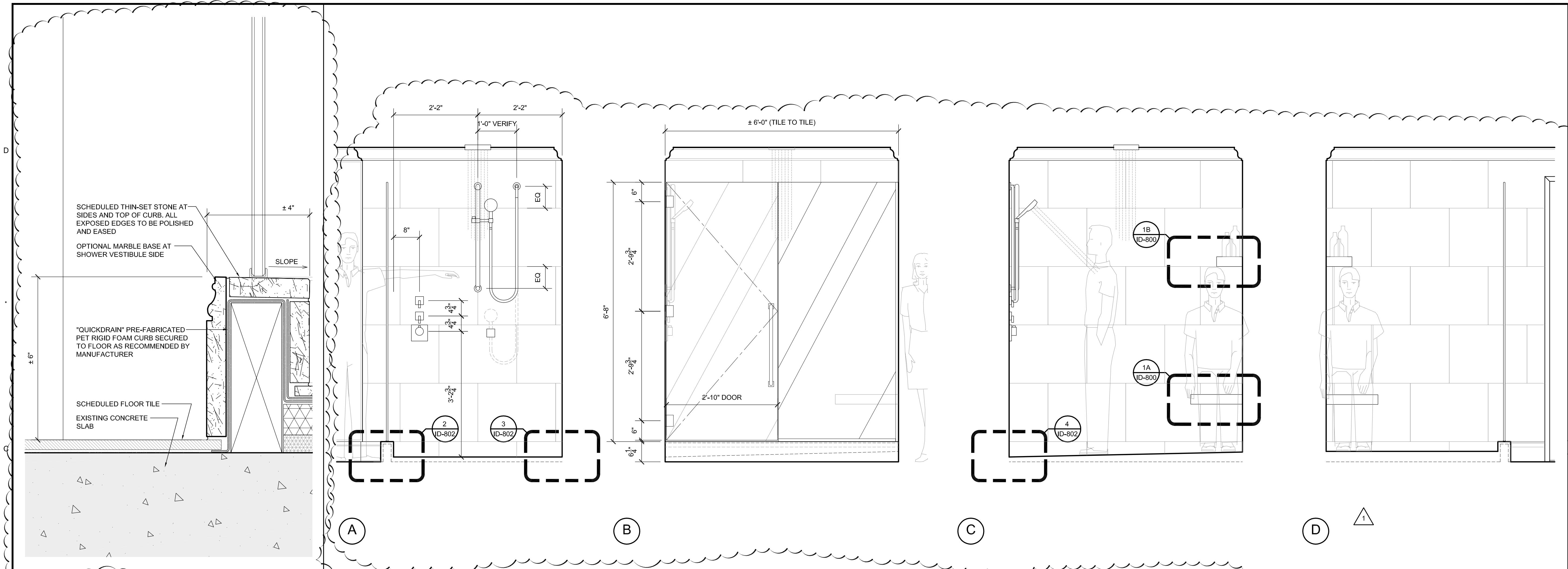
INTERIOR ELEVATIONS

drawing no.

ID-604

CONNECTING KING BDRM ENTRY ELEVATION
SCALE: 3/8 = 1'-0"CONNECTING KING BDRM WINDOW WALL ELEVATION
SCALE: 3/8 = 1'-0"CONNECTING KING FOYER MIRROR WALL ELEVATION
SCALE: 3/8 = 1'-0"CONNECTING KING FOYER DRY BAR ELEVATION
SCALE: 3/8 = 1'-0"CONNECTING KING BDRM HEADBOARD ELEVATION
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SCALE: 3/8 = 1'-0"CONNECTING KING FOYER ENTRY ELEVATION
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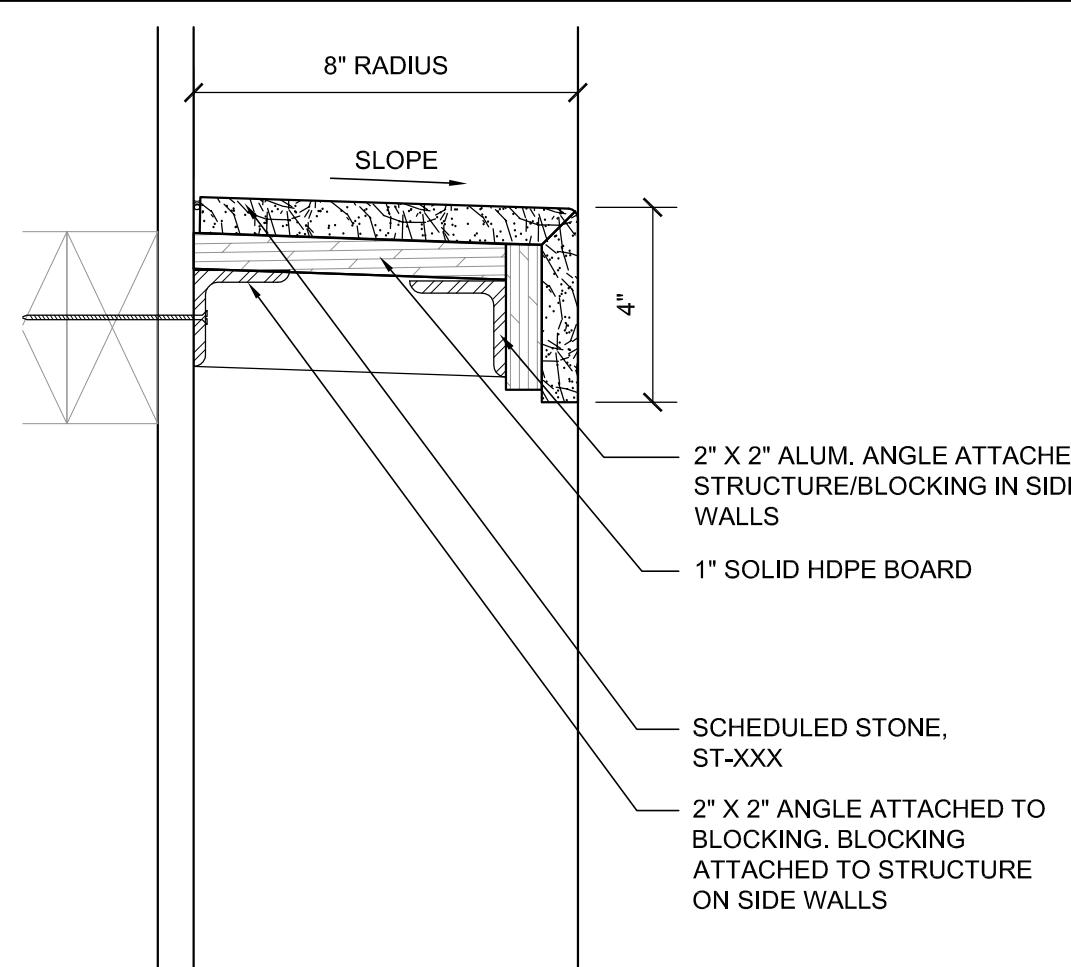




"OPTIONAL" SECTION AT SHOWER CURB

2A

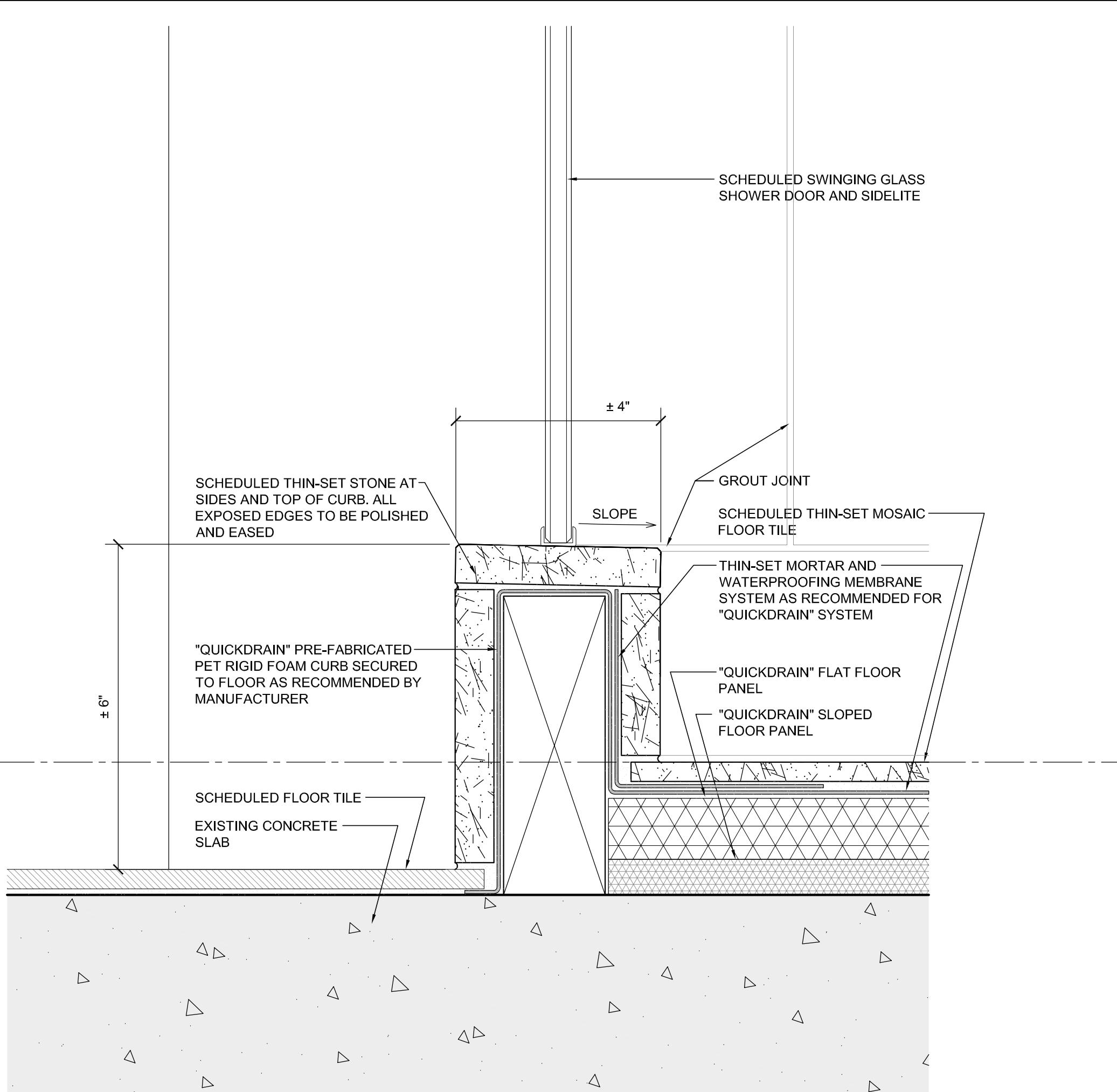
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ENLARGED SECTION DETAIL @ BOTTLE SHELF

1B

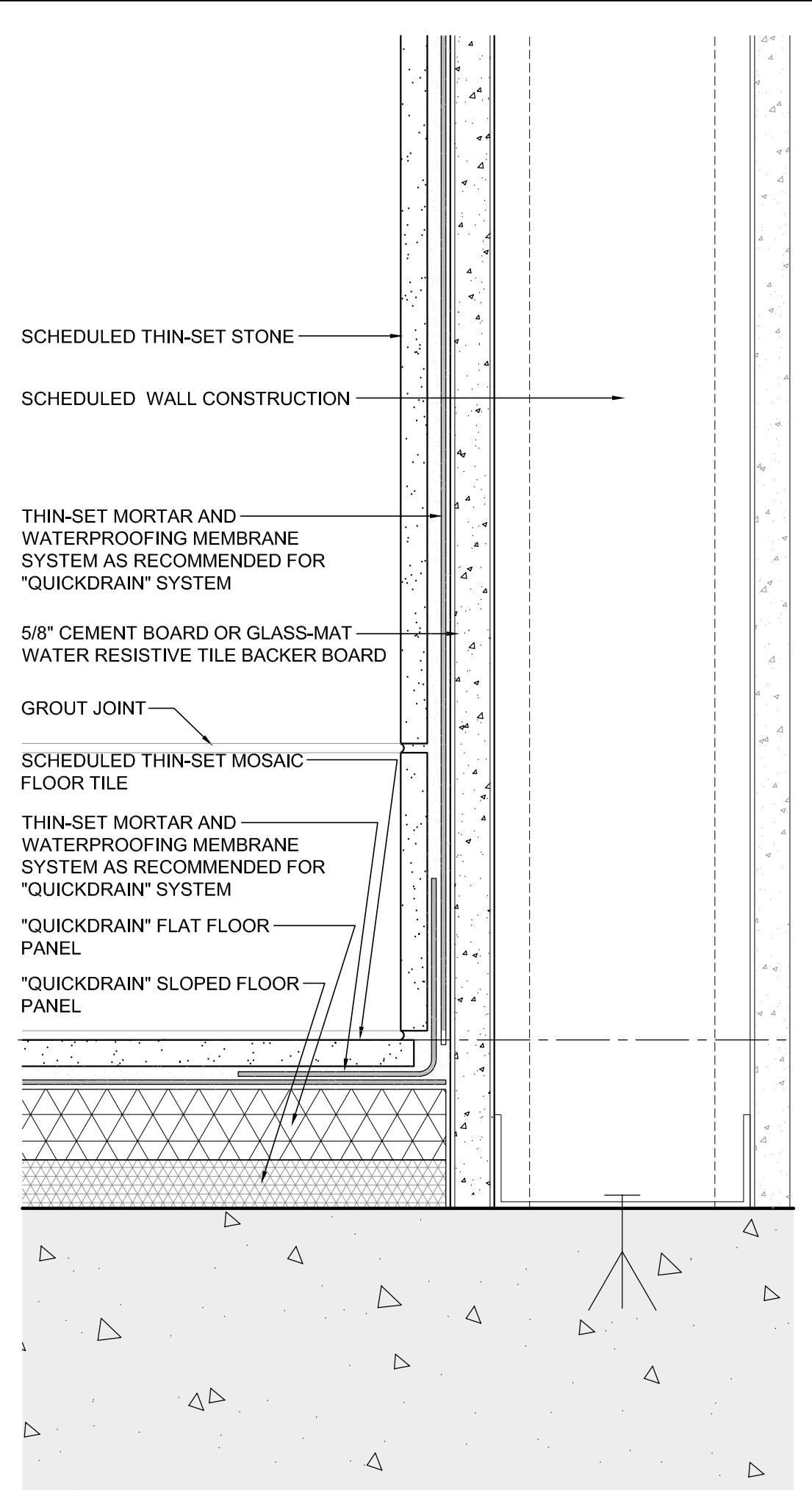
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ENLARGED SECTION AT SHOWER CURB

2

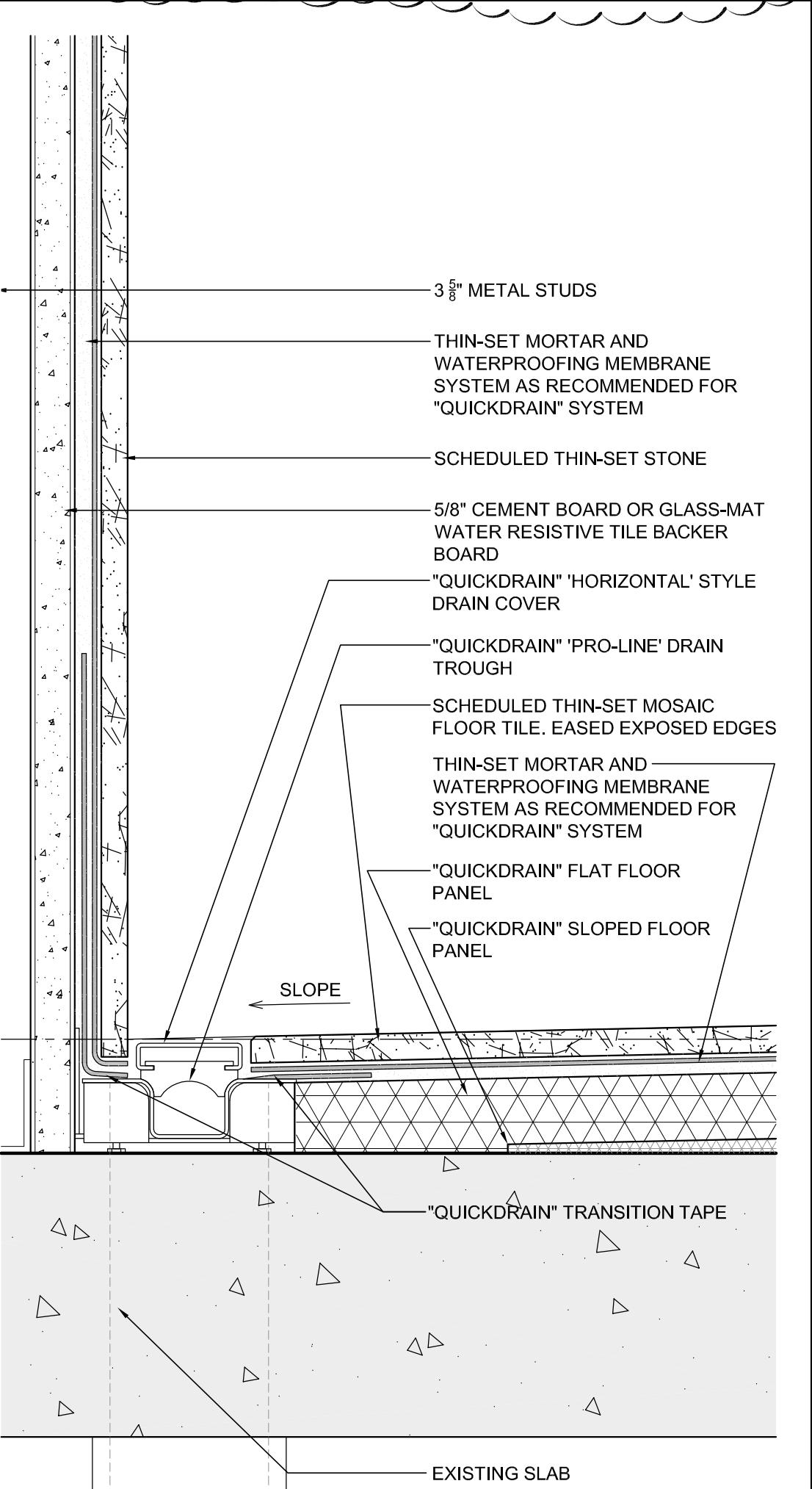
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ENLARGED SECTION @ SHOWER

3

SCALE: 6" = 1'-0"



ENLARGED SECTION @ LINEAR DRAIN

4

SCALE: 6" = 1'-0"

ENLARGED SECTION DETAIL @ SHOWER SEAT

1A

SCALE: 3" = 1'-0"

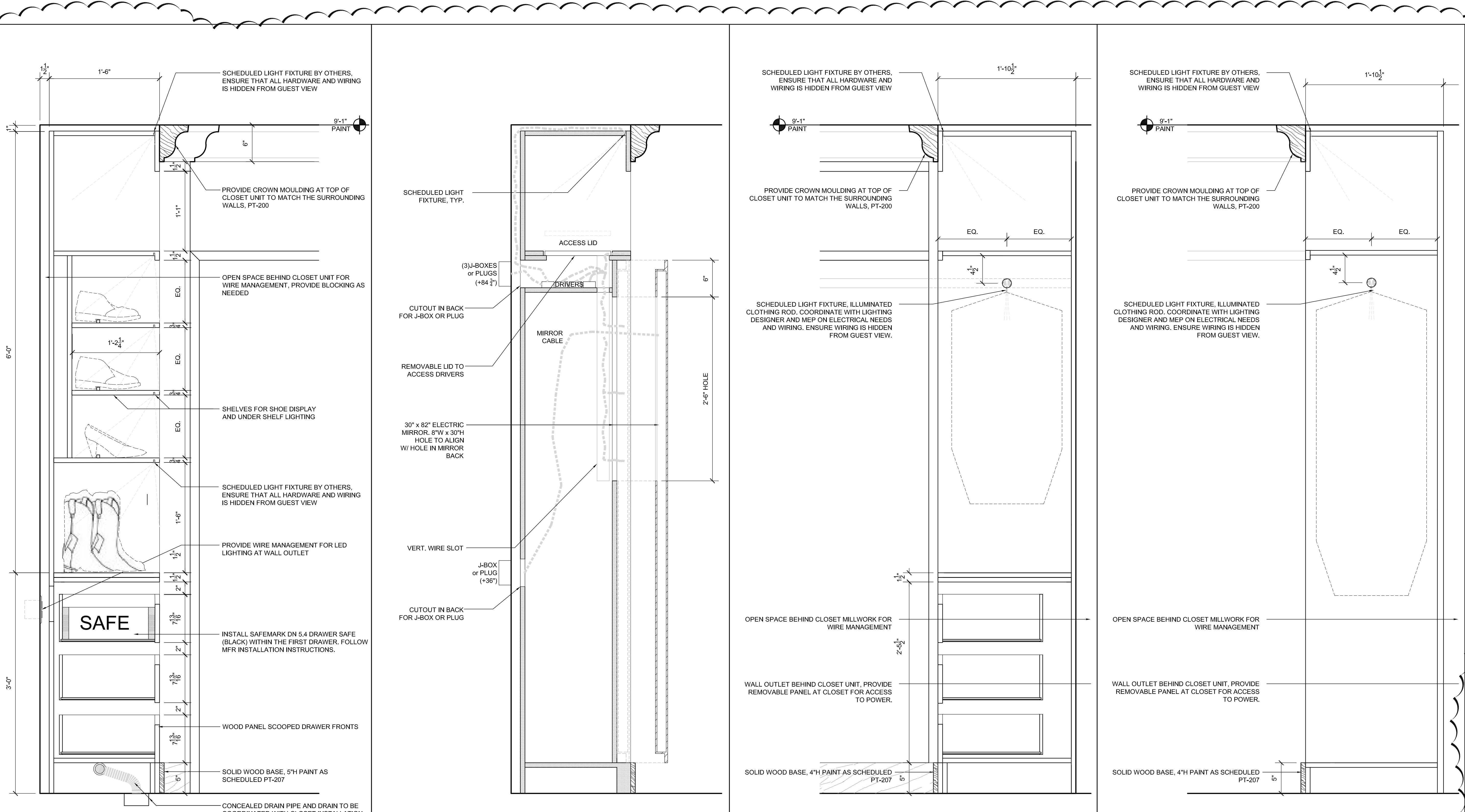
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3

2

1

5



FINISH MATERIALS SCHEDULE

SYMBOL	MATERIAL / DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	PATTERN / COLOR / FINISH	SIZE / INSTALLATION	REMARKS / LOCATION	CONTACT	FIRE RATING
CARPET								
CPT-200	HAND TUFTED AREA RUG	TBD	PROJECT #: SP166264	CONSTRUCTION: POMS: GAUGE: WEIGHT: BACKING:	WIDTH: 12'-0" INSTALLATION: AREA RUG OVER NON-SKID PAD	LOCATION: LIVING ROOM SEE FF&E SPEC FOR MORE INFORMATION	PHONE: EMAIL:	
CPT-201	AXMINSTER	ROYAL THAI	NXG030355-Sam SP166264 SP166264-03-SR07	CONSTRUCTION: WOVEN AXMINSTER POMS: H310/31A,L311/2D,A310,N314, N313,L310 WEIGHT: 60.6OZ/YD ² BACKING: POLYESTER/PROPYLENE BACKING	WIDTH: 12'-0" INSTALLATION: DOUBLE GLUE OVER PAD	LOCATION: BED ROOM, OFFICE, WALK-IN CLOSET REFER TO SEAMING DIAGRAM AND FLOODED PLAN FOR INSTALLATION SEE FF&E SPEC FOR MORE INFORMATION	KAITLYN WEIR PHONE: 551.574.5033 EMAIL: KAITLYNWEIR@ROYALTHAI.COM	ASTM E648 CLASS I
CPT-202	SOLUTION DYED NYLON BROADLOOM CARPET	MOHAWK GROUP	STYLE NAME: SPECTRUM V30 STYLE #: BC246	COLOR: 7385 MAJESTIC FLEUR GAUGE: 1/10 WEIGHT: 30 OZ/YD ² BACKING: WELDLOK	WIDTH: 12' INSTALLATION: DOUBLE GLUE OVER PAD	LOCATION: MEDIA ROOM	DONNA BAILEY PHONE: 215.983.0453 EMAIL: DONNA_BAILEY@MOHAWKIND.COM	ASTM E 648 CLASS I
CARPET PAD								
CPP-200	CARPET PAD	TRED-MOR	Tred-MOR® 2580	THICKNESS: 0.250" COLOR: BLACK WEIGHT: 80 OZ DENSITY: 26 LBS/CU FT	CONTENT: SYNTHETIC RUBBER ROLL SIZE: 54"X60'L	LOCATION: BED ROOM, OFFICE, WALK-IN CLOSET SEE FF&E SPEC FOR MORE INFORMATION		
FABRIC WRAPPED PANEL								
FWP-200	PANEL FABRIC FOR ARCHITEX WRAPPED PANELS	THESPIAN	COLOR: CABERNET CONTENT: 100% POLYESTER	WIDTH: 54"	MEDIA ROOM	JASON LEVY PHONE: 847.205.1333 EMAIL: JASONLEVY@ARCHITEX-LJ.COM	PASSES NFPA 701, CAL TB 117, UFAC CLASS 1, NFPA 260, MVSS 302	
FWP-201	PANEL FABRIC FOR KNOLL WRAPPED PANELS	ULTRASUEDE	COLOR: BLUSH	WIDTH: TBD	LIVING ROOM			
GLASS								
GL-200	TEMPERED LOW IRON CLEAR MIRROR GLASS			THICKNESS: 1/8"	LOCATION: SEE DRAWING			
GL-201	TEMPERED BRONZE TINTED FROSTED MIRROR GLASS			THICKNESS: 1/8"	LOCATION: SHELF @ FOYER	BRIANNA NASTASI PHONE: 856.579.3235 EMAIL: BRIANNA@MCGRORY.COM		
GROUT								
GR-200	EPOXY TILE GROUT	TBD	PREMIUM UNSANDED GROUT	COLOR: TBD	REFER TO SCHEDULE TILE FOR JOINT SIZE	LOCATION: MASTER BATHROOM		
METAL								
M-200	ACCENT METAL FINISH		MATCH CHEMICAL 800 TRADITIONAL CLASSICS, 814 SATIN GOLDEN BRONZE	FINISH: BRUSHED	LOCATION: REFER TO DRAWING FOR LOCATION			
PAINT								
PT-200	GENERAL PAINT	SHERWIN WILLIAMS	COLOR: EXTRA WHITE, SW7006 FINISH: CEILING(FLAT), WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS), BATHROOM CEILING(SEMI-GLOSS)	1 COAT PRIMER, 2 COATS PAINT	LOCATION: REFER TO DRAWING FOR LOCATION	SHELLY BEEKLEY PHONE: 215.806.3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM		
PT-201	ACCENT PAINT	SHERWIN WILLIAMS	COLOR: PANDA WHITE, SW6147 FINISH: CEILING(FLAT), WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS), BATHROOM CEILING(SEMI-GLOSS)	1 COAT PRIMER, 2 COATS PAINT	LOCATION: REFER TO DRAWING FOR LOCATION	SHELLY BEEKLEY PHONE: 215.806.3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM		
PT-202	ACCENT PAINT	SHERWIN WILLIAMS	COLOR: DOWNTOWN, SW7002 FINISH: WALLS EGGSHELL, DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-201	LOCATED AT KITCHEN WALL BASE AND DOOR TRIM AND CLOSET/ FITNESS ROOM	LOCATED AT POWDER ROOM AND CONNECTING VESTIBULES			
PT-203	ACCENT PAINT	SHERWIN WILLIAMS	COLOR: STEAMED MILK, SW7554 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-200	NOT USED	LOCATED AT ENTRY			
PT-204	ACCENT PAINT	SHERWIN WILLIAMS	COLOR: SUNRIED TOMATO SW7585 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH FWP-200	LOCATED AT MEDIA ROOM				
PT-205	ACCENT PAINT	SHERWIN WILLIAMS	COLOR: DOWNTOWN, SW7002 FINISH: WALLS EGGSHELL, DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-202	LOCATED AT LIVING ROOM				

FINISH MATERIALS SCHEDULE

SYMBOL	MATERIAL / DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	PATTERN / COLOR / FINISH	SIZE / INSTALLATION	REMARKS / LOCATION	CONTACT	FIRE RATING
PT-207	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: STEAMED MILK, SW7554 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-203		LOCATED AT BEDROOM AND OFFICE		
PT-208	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: FRESCO CREAM, SW7719 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING FWP-201		LOCATED AT LIVING ROOM		
RESILIENT FLOORING								
RF-200	RECYCLED RUBBER BACK VINYL FLOORING	ECORE	PRODUCT NAME: FOREST RX	COLOR: 9822 TOASTED OAK	THICKNESS: 7mm ROLL SIZE: 6' WIDE X 30LF	LOCATION: FITNESS	MEGAN LYNNAM PHONE: 610.717.7220 EMAIL: MLYNAM@SPARTANSURFACES.COM	ASTM E-648, CLASS I
STONE								
ST-200	QUARTZ	CAMBRIA	PRODUCT: QUARTZ	COLOR: WHITE CLIFF	THICKNESS: 2CM	LOCATION: MASTER BATHROOM VANITY TOP, TUB DECK, VANITY BASE, TUB BASE		
ST-201	STONE TILE	A TOUCH OF STONE	CALACATTA 24 x 24 MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. SELECTION CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: CUT TO MATCH EXISTING WALL TILE IN MASTER BATHROOM. GROUT: GR-200, GROUT JOINT SIZE TO MATCH EXISTING	LOCATION: MASTER BATHROOM SHOWER WALL	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSOUTH.NET	
ST-202	STONE MOSAIC FLOOR TILE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. SELECTION CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: 2'X 2' SQUARE GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER FLOOR	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSPOT.NET	
ST-203	STONE BASE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. PROFILE, SIZE AND FINISH CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: TO MATCH EXISTING BASE IN MASTER BATHROOM. GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSPOT.NET	
ST-204	STONE CORNICE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. PROFILE, SIZE AND FINISH CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: TO MATCH EXISTING CORNICE IN MASTER BATHROOM GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSPOT.NET	
WALLCOVERINGS								
WC-200	TYPE II VINYL ACCENT WALLCOVERING	MDC	BARONI PRODUCT #: PD06227	COLOR: PEARL PATTERN: NON-REVERSIBLE STRAIGHT ACROSS MATCH BACKING: NON-WOVEN	WIDTH: 27" WEIGHT: 16 OZ/LYD	LOCATION: VESTIBULE	SHARON ROTHSCCHILD PHONE: 609.876.3192 EMAIL: SROTHSCCHILD@MDCWALL.COM	ASTM E-84 CLASS A
WC-201	TYPE II VINYL GENERAL WALLCOVERING	MDC	MIX THIS PRODUCT #: MDD2900	COLOR: FREE ZONE PATTERN: RANDOM REVERSIBLE, TYPE II BACKING: NON-WOVEN	WIDTH: 54" WEIGHT: 20 OZ/LYD SEE FF&E SPEC FOR MORE INFORMATION	LOCATION: KITCHEN	SHARON ROTHSCCHILD PHONE: 609.876.3192 EMAIL: SROTHSCCHILD@MDCWALL.COM	ASTM E-84 CLASS A
WC-202	TYPE II VINYL GENERAL WALLCOVERING	INNOVATIONS	RANGOON SILK PRODUCT #: RS8499	COLOR: SEA SALT PATTERN: NON-MATCH BACKING: NON-WOVEN	WIDTH: 51" WEIGHT: 18 OZ/LYD SEE FF&E SPEC FOR MORE INFORMATION	LOCATION: LIVING ROOM	GREGORY AUGUSTINE PHONE: 215.568.6980 EMAIL: GREGORY@LUCASEXANDERDERCO.COM	ASTM E-84 CLASS A
WC-203	TYPE II VINYL GENERAL WALLCOVERING	WOLF GORDON	SETA PRODUCT #: GOH12578856	COLOR: PEARL PATTERN: REVERSE HANG, RANDOM MATCH	WIDTH: 52" WEIGHT: 20 OZ/LYD SEE FF&E SPEC FOR MORE INFORMATION	LOCATION: BEDROOM, OFFICE, CLOSET/ FITNESS	CAROL MORTIMER PHONE: 302.598.8380 EMAIL: CAROL.MORTIMER@WOLFGORDON.COM	ASTM E-84 CLASS A
WC-204	TYPE II VINYL GENERAL WALLCOVERING	WOLF GORDON	VIVA PRODUCT #: GOH1256420	COLOR: FORT HOOD PATTERN: REVERSE HANG, RANDOM MATCH	WIDTH: 54" WEIGHT: 20 OZ/LYD SEE FF&E SPEC FOR MORE INFORMATION	LOCATION: POWDER ROOM, CONNECTING VESTIBULE	CAROL MORTIMER PHONE: 302.598.8380 EMAIL: CAROL.MORTIMER@WOLFGORDON.COM	ASTM E-84 CLASS A
WC-205	TYPE II VINYL GENERAL WALLCOVERING	DAC ART	CUSTOM FITNESS MURAL ON CANVAS TYPE II VINYL DOWNY AND SELECTED PANTONE COLORS	COLOR: TO MATCH SW7002	WIDTH: 54" WEIGHT: 20 OZ/LYD SEE FF&E SPEC FOR MORE INFORMATION	LOCATION: CLOSET/ FITNESS ROOM	DARBY BORUFF PHONE: 404.601.3257 EMAIL: DARBYB@DACARTCONSULTING.COM	ASTM E-84 CLASS A
WOOD-BASE								
WB-200	PAINTED WOOD WALL BASE					LOCATION:		
WB-201	PAINTED WOOD WALL BASE	MILLWORKER	TBD	FLAT STOCK, PAINT GRADE WOOD BASE, SEE DRAWINGS FOR FINISH INFORMATION	5" HIGH, .75" THICK	LOCATION: FITNESS/ CLOSET	TBD	

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