







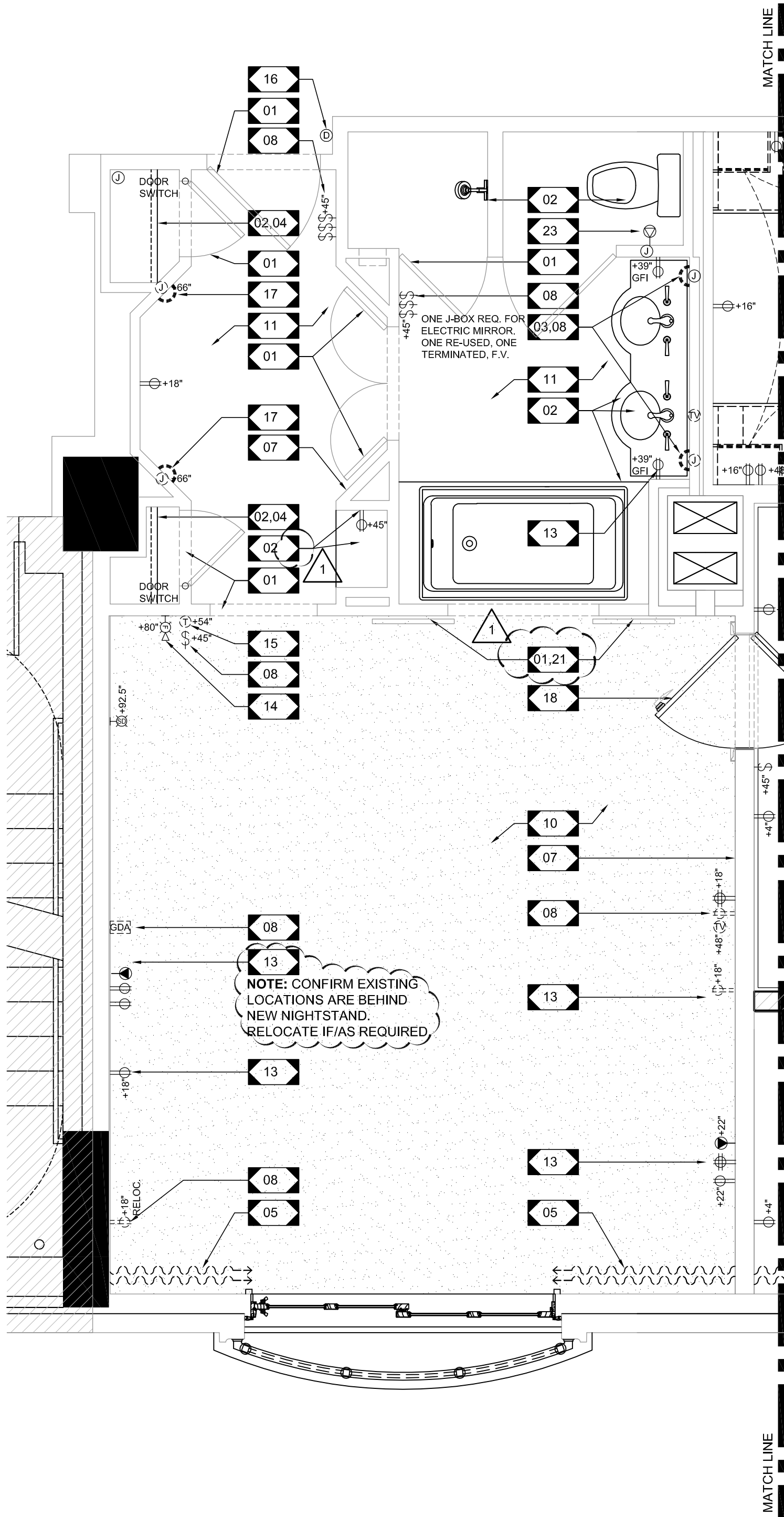


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SELECTIVE DEMOLITION PLAN - EMPIRE SUITE - CONNECTING ROOM  
SCALE: 3/8" = 1'-0"

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#### DEMOLITION KEYNOTES

- EXISTING DOOR AND/OR THRESHOLD TO REMAIN U.N.O.; TYP. IN DBL. QUEEN; REMOVE GUESTROOM SIDE LEVER FOR RE-PLATING.
- EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET, MILLWORK ITEM AND TOILET TO REMAIN.
- EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- EXISTING ROOM SAFE TO BE REMOVED, SALVAGE FOR POTENTIAL RE-USE. COORDINATE WITH OWNER'S REPRESENTATIVE.
- EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
- EXISTING SECURITY/ALARM DEVICE TO REMAIN. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPGRADES WITH THE OWNER PRIOR TO CONSTRUCTION.
- REMOVE EXISTING WALL FINISH AND/OR WALLCOVERING AND ADHESIVE AT ALL SURFACES TO RECEIVE NEW FINISHES. SAND AND CLEAN SURFACE SMOOTH AND READY TO RECEIVE NEW FINISH. REFER TO FINISH AND FF+E PLANS FOR ADDITIONAL INFORMATION AND SCOPE.
- EXISTING J-BOX, OUTLET OR SWITCH TO BE TERMINATED, RELOCATED, OR REWIRED FOR NEW SCHEDULED EQUIPMENT. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- REMOVE PLUMBING FIXTURE OR CONTROL DEVICE WHERE INDICATED. PATCH AND PREP FOR NEW WORK. RELOCATE NECESSARY DRAINS AND PIPING AS NEEDED.
- EXISTING AREA RUG, CARPET AND PAD TO BE REMOVED. RETAIN AREA RUGS FOR OWNER LIQUIDATION.
- EXISTING FLOOR FINISH TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- EXISTING COUNTERTOP SINK, FAUCET, VENTLESS HOOD, APPLIANCES AND KITCHEN CABINETS TO REMAIN. COORDINATE CONDITION WITH OWNER AND REPLACE ANY ITEMS AS DIRECTED
- EXISTING OUTLET OR SWITCH TO REMAIN. IF EXISTING "BLANK" COVER PLATE, G.C. TO DETERMINE TERMINATED FUNCTION AND DISCUSS WITH INTERIOR DESIGNER FOR DIRECTION
- EXISTING FIRE STROBE OR SMOKE DETECTOR TO REMAIN.
- EXISTING THERMOSTAT TO BE REMOVED. LOW VOLTAGE CONTROL CIRCUIT TO REMAIN FOR NEW THERMOSTAT
- EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- EXISTING LIGHT FIXTURE AND J-BOX TO BE REMOVED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE
- EXISTING DOOR TO BE REMOVED AND SALVAGED FOR OWNER USE. PATCH AND PREP AREA FOR NEW WALL, DOOR AND/OR FRAMED OPENING.
- DEMOLISH WALL, INCLUDING CROWN MOULDING AND WALL BASE. RELOCATE ELECTRICAL AS INDICATED OR REMOVE. PREPARE AREA FOR NEW CONSTRUCTION.

- REMOVE EXISTING BUILT IN MILLWORK. SALVAGE FOR OWNER USE. PREPARE AREA FOR NEW FF&E AND/ OR NEW CONSTRUCTION.
- EXISTING STONE FLOORING, SHOWER SEAT AND PORTION OF BASE TO BE REMOVED. DRAIN TO REMAIN. CAREFULLY COORDINATE TILE WALL AND BASE AREAS TO REMAIN
- EXISTING ARTWORK AND/ OR MIRROR TO BE REMOVED. SALVAGE FOR POTENTIAL RE-USE. COORDINATE SCOPE WITH OWNER'S REPRESENTATIVE
- EXISTING WALL MOUNTED PHONE TO REMAIN. REPAIR AND/OR REFURBISH AS REQUIRED.
- EXISTING FIREPLACE TO REMAIN. HEARTH DIMENSION TO BE REDUCED, SEE ID-100 & 300. REFINISH TO LIKE NEW APPEARANCE.
- EXISTING 225A ELECTRIC PANEL, CONDUITS, WIREWAY ABOVE AND TV DEVICES TO REMAIN. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPGRADES WITH THE OWNER PRIOR TO CONSTRUCTION.
- COMPLY WITH GOVERNING EPA AND LOCAL NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION WORK.
- COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HOLDING JURISDICTION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
- INSTALL, MAINTAIN AND OPERATE TEMPORARY POWER AND LIGHT PROPERLY WIRED, SWITCHED AND FUSED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CLEAN PROJECT AREA OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION. BROOM CLEAN AFTER THE COMPLETION OF ENTIRE PROJECT DEMOLITION ACTIVITIES.
- DUST CONTROL: CONTRACTOR SHALL MONITOR AND MAINTAIN DUST CONTROL THROUGHOUT THE ENTIRE DEMOLITION PROCESS SO THAT DEMOLITION ACTIVITY CAUSES NO DUST CONDITIONS OUTSIDE THE WORK AREA PREMISES.
- NOISE, VIBRATION, ODORS, ETC. GENERATED BY DEMOLITION ACTIVITIES ARE TO BE KEPT TO A MINIMUM AS NOT TO DISTURB OTHER HOTEL GUESTS. DRAGGING OF LADDERS, DROPPING MATERIALS ETC. SHALL BE AVOIDED OVER OCCUPIED FLOORS. ALL WORK, WHICH MAY CAUSE NOISE AND/OR VIBRATION, SHALL NOT BE PERFORMED WITHOUT COORDINATION WITH OWNER. ALL WORK, WHICH MAY CAUSE EXCESSIVE VIBRATION, SHALL BE REVIEWED AND APPROVED PRIOR TO ITS COMMENCEMENT BY THE BUILDING ENGINEER.
- WHERE DEMOLITION IS TO TAKE PLACE IN THE AREA OF THE BUILDING WHERE FIRE SAFETY EQUIPMENT SUCH AS ALARMS, SPEAKERS, SMOKE DETECTORS ARE LOCATED, THE BUILDING ENGINEER MUST BE NOTIFIED THREE (3) DAYS PRIOR TO START OF DEMOLITION SO EQUIPMENT MAY BE PROTECTED.

#### DEMOLITION SHEET NOTES

- PRIOR TO THE START OF WORK, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- COORDINATE AND SCHEDULE ALL WORK, INCLUDING DELIVERY AND STAGING OF MATERIALS, REMOVAL OF DEMOLITION DEBRIS, WITH OWNER SO AS TO MINIMIZE THE DISRUPTION OF ONGOING OPERATIONS TO THE GREATEST EXTENT POSSIBLE.
- DO NOT CUT AND PATCH IN A MANNER THAT WILL RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.

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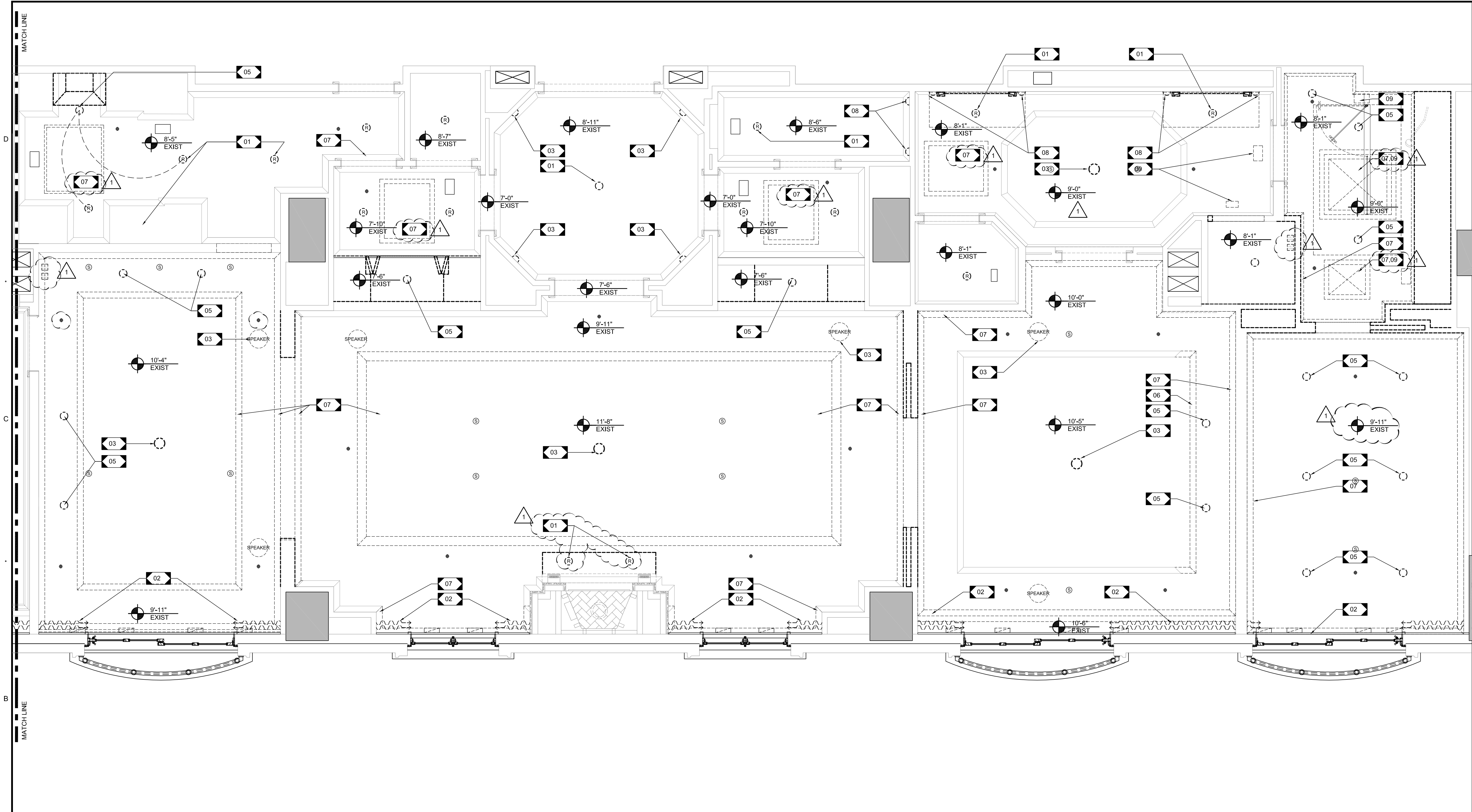
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SELECTIVE  
DEMOLITION PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

D-100A





SELECTIVE DEMOLITION RCP - EMPIRE SUITE  
SCALE: 3/8" = 1'-0"

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### RCP DEMOLITION KEYNOTES

- 01 EXISTING LIGHT FIXTURE TO BE REMOVED; J-BOX TO REMAIN FOR NEW LIGHT FIXTURE AND/OR NEW ELECTRICAL DEVICE SHOWN
- 02 EXISTING DRAPERY FABRIC, HOOKS AND MANUAL TRACK TO BE REMOVED.
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- 05 EXISTING DOWNLIGHT TO BE REMOVED. TERMINATE CIRCUIT PER THE REQUIREMENTS OF THE NEC, LOCAL ELECTRIC CODE AND 'CONTROL 4'. NO CIRCUITS OR DEVICES ARE ABANDONED LIVE.
- 06 PORTION OF EXISTING CROWN MOLDING TO BE CAREFULLY REMOVED AND PRESERVED FOR RE-USE. SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
- 07 REMOVE EXISTING MOLDING AND/OR ACCESS PANEL WHERE INDICATED.
- 08 EXISTING WALL SCONCES TO BE REMOVED. IF FEASIBLE, J-BOX TO BE REWIRED FOR NEW SCHEDULED FIXTURE. MODIFY CIRCUIT PER THE REQUIREMENTS OF THE NEC AND LOCAL ELECTRIC CODE.
- 09 RELOCATE HVAC/ MECHANICAL UNIT IN EXISTING CEILING TO NEW LOCATION. REMOVE EXISTING STEAM UNIT. COORDINATE WITH MEP.

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- AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
- ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURNED TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
- ALL EXISTING WOOD AND TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED.
- ALL EXISTING SWITCHES, POWER AND/OR DATA PORTS TO REMAIN U.N.O. REPAIR AND/OR REFURBISH FINISH PLATES IF/AS REQUIRED.
- PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTATS U.N.O.

### LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- PLT-XX CEILING PENDANT
- WSC-XX WALL SCONCE
- A1, A-1A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A-2A, A-2B, A-2C 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD. A2 IS ADJUSTABLE, A2-A IS FIXED. A-2B W/SPREAD LENS, A-2C WET RATED
- A3, A-3A 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD, 40° ADJUSTABILITY, A-3A IS 60° BEAMSPREAD
- A4 1", FF&E L.E.D. BAR PUCK LIGHT
- A5 2" L.E.D. PIN LIGHT AT MEDIA ROOM
- A6, A7 L.E.D. STRIP LIGHT, HARDWIRED. A7 IS PLUG END
- A8 L.E.D. COVE LIGHT
- A9, A9-A L.E.D. STRIP LIGHT, CORNER PROFILE. A9-A IS FLAT PROFILE
- A10 ILLUMINATED L.E.D. CLOSET ROD
- A11 RECT. L.E.D. WALLWASHER
- A12 UNDER CABINET L.E.D. LIGHT
- 12", FF&E L.E.D. NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER

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drawn by BC/JLM  
checked JLM  
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SELECTIVE  
DEMOLITION RCP -  
EMPIRE SUITE

drawing no.

**D-200**

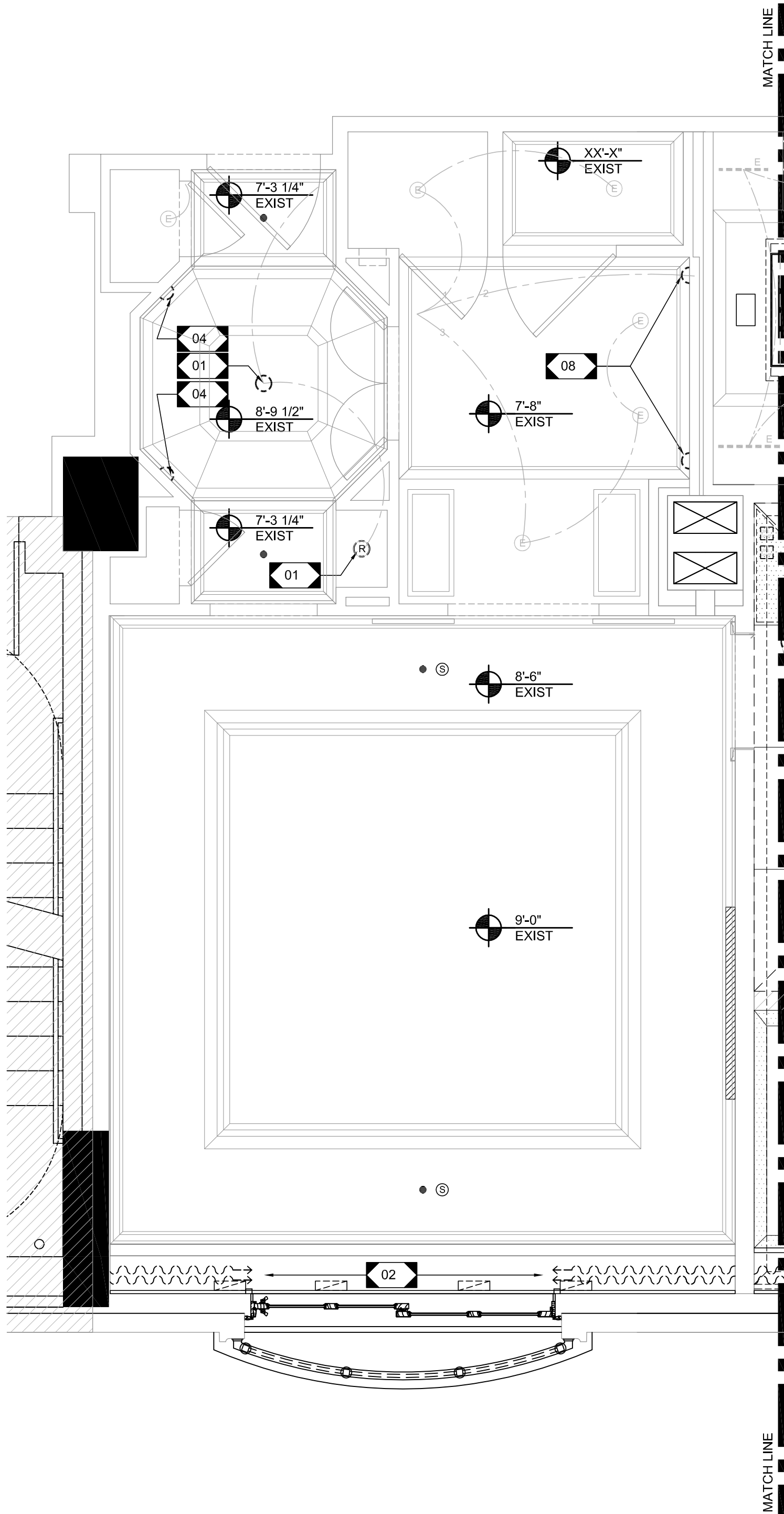


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SELECTIVE DEMOLITION RCP - EMPIRE SUITE- CONNECTING ROOM  
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- AS NOTED ON THE DEMOLITION PLAN, REMOVE ALL EXISTING FINISHED SURFACES TO THEIR SUBSTRATE INCLUDING EXISTING CARPET, WALLCOVERING ETC.
- ALL EXISTING FURNITURE AND ARTWORK TO BE REMOVED AND RETURNED TO OWNER, DISPOSE OR STORE AT OWNER'S DESIGNATED LOCATION.
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- ALL EXISTING WINDOWS AND SILLS TO REMAIN U.N.O. REPAIR AND REFURBISH IF/AS REQUIRED.
- ALL PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES TO REMAIN U.N.O. CLEAN, REPAIR AND/OR REFURBISH IF/AS REQUIRED.
- ALL EXISTING FASCIA/SOFFIT/COVE TO REMAIN.
- ALL EXISTING CEILING, MOLDING, SPRINKLERS, DIFFUSERS, DUCTWORK AND CEILING DEVICES TO REMAIN U.N.O.
- EXISTING ROOM SIGNS AND ASSOCIATED SIGNAGE TO REMAIN U.N.O.
- ALL EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE. REMOVE EXISTING ARTWORK INCLUDING MOUNTING HARDWARE PATCH AND REPAIR WALL AS REQUIRED.
- DEMOLITION SCOPE OF EXISTING SPRINKLERS TO BE DETERMINED AND COORDINATED BY GC/OWNER'S SPRINKLER SUB-CONTRACTOR WITH ALL APPLICABLE LOCAL CODE REQUIREMENTS

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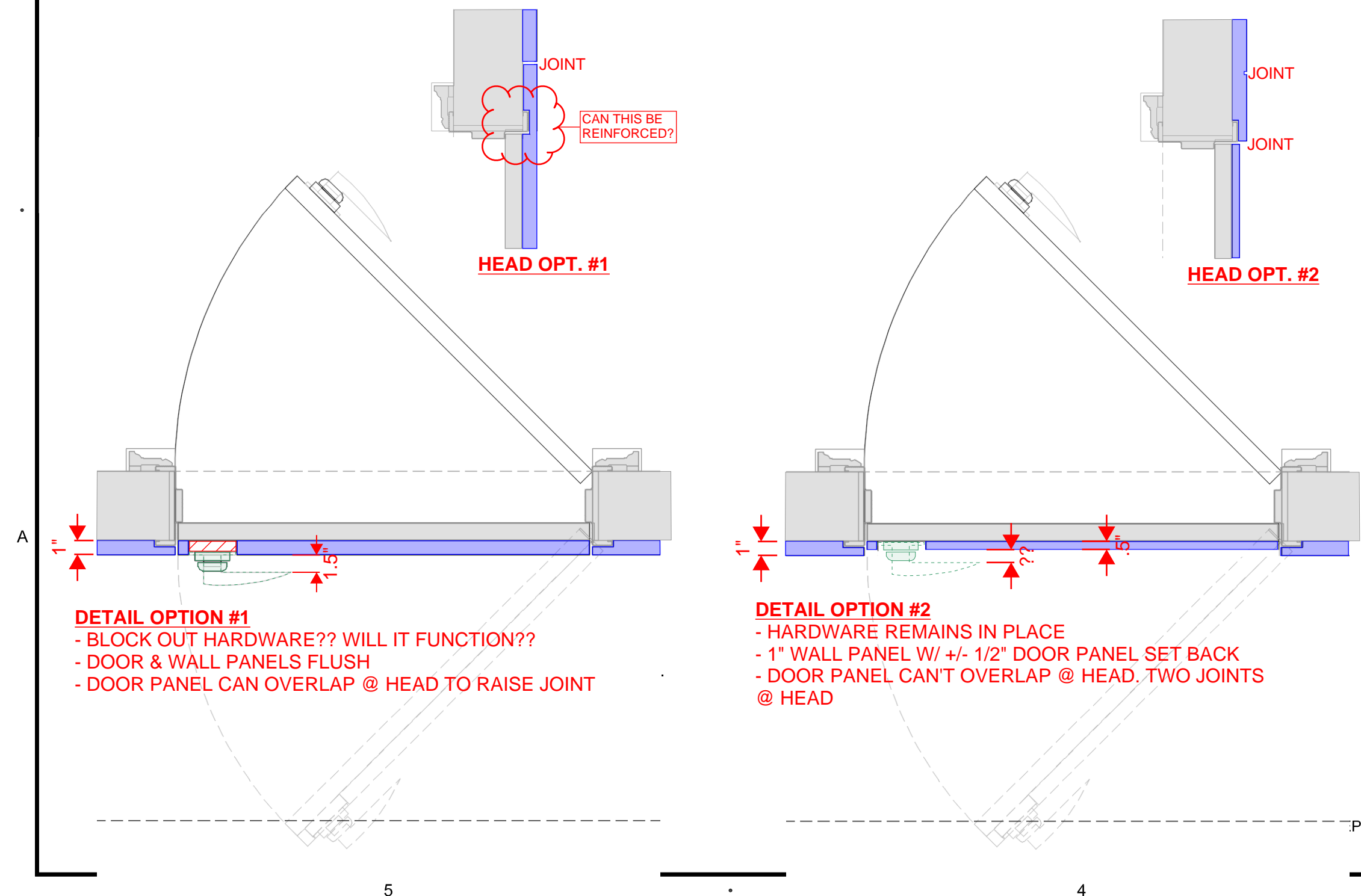
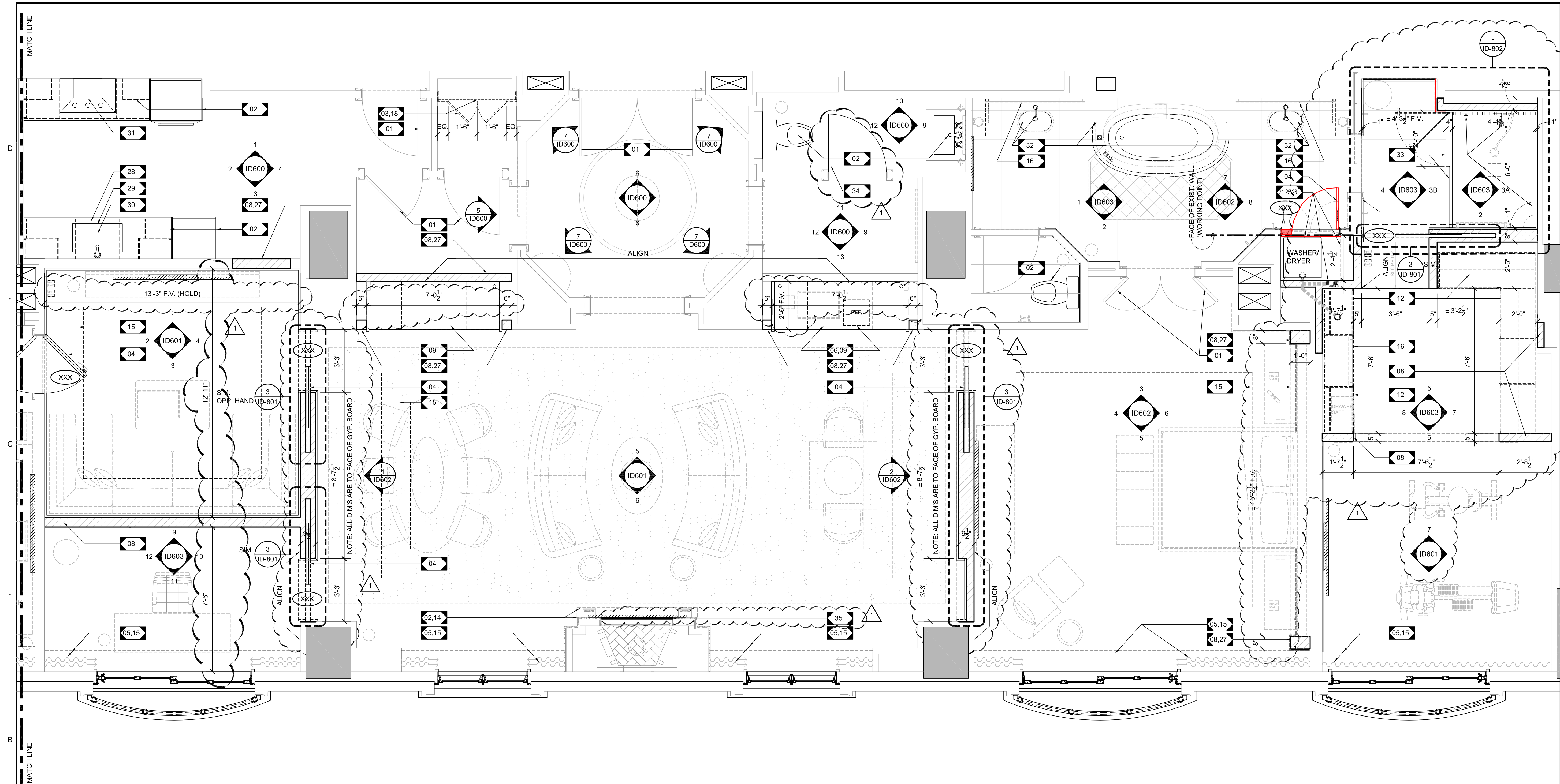
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SELECTIVE  
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EMPIRE SUITE  
CONNECTING ROOM

drawing no.

**D-200A**





- 08 NEW GYPSUM BOARD ON METAL STUD FRAMING. IF INFILL, NEW GYP. BD. SURFACES TO BE FLUSH AND MATCH EXISTING IN ALL RESPECTS
- 09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE, SHEET ID-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12 NEW FF&E CLOSET SYSTEM WITH ILLUMINATED SHELVES AND CLOSET ROD. REFER TO ID-400 FOR MORE INFORMATION
- 13 EXISTING POWER AND DATA DEVICE. REFER TO ID-400 FOR MORE INFORMATION
- 14 EXISTING FIREPLACE HEARTH TO BE CUT BACK/REDUCED IN DIMENSION. EDGE TO BE DRESSED TO MATCH EXISTING PROFILE
- 15 LINE OF CEILING TRANSITION ABOVE
- 16 SCHEDULED FF&E ITEM. REFER TO ID-500 FOR MORE INFORMATION
- 17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
- 18 NEW RETRO-FIT WHITE PAINTED UPPER CABINET FACE AND DOORS ON EUROPEAN HINGES TO CONCEAL SECURITY/IT EQUIPMENT.
- 19 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.

- 20 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
- 21 NEW WHITE LAMINATE LAUNDRY SHELVES ON SIDE OR REAR MOUNTED PILASTER STANDARDS/BRACKETS OR PINS
- 22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23 EXISTING WALL MOUNTED PHONE
- 24 AREA OF NEW BASE TO MATCH EXISTING
- 25 SCHEDULED \*STACKABLE\* WASHER AND VENTLESS DRYER. PROVIDE T-HOLD, PLATFORM, DRAIN AND WATER PROOF MEMBRANE AT FLOOR/WALLS.
- 26 PROVIDE \*IN WALL\* WASHER CONNECTION W/ HOT AND COLD WATER SUPPLY AND DRAIN CONNECTION POINTS
- 27 NEW BASE TO MATCH EXISTING. COORDINATE WITH EXISTING AND /OR FF&E ITEM. ALL SEAMS/JOINTS TO BE FLUSH AND SMOOTH
- 28 NEW COUNTERTOP. SEE FINISH PLANS FOR MORE INFORMATION
- 29 NEW UNDERMOUNT SINK MODEL \*XXX\* AND RE-INSTALLED EXISTING DISPOSALL CONNECTED TO EXISTING DRAIN LINES
- 30 NEW SINK FAUCET MODEL \*XXX\* CONNECTED TO EXISTING PLUMBING SUPPLY LINES

CONSTRUCTION PLAN - EMPIRE SUITE  
SCALE: 3/8" = 1'-0"

- 31 EXISTING \*VENTLESS\* COOKTOP HOOD TO BE EVALUATED BY OWNER. EITHER REFURBISH TO LIKE NEW CONDITION OR REPLACE WITH \*WOLF\* MODEL \*XXX\*
- 32 NEW \*UNDERMOUNT\* TUB, TUB FILLER, UNDERMOUNT BATH SINK AND BATH SINK FAUCET CONNECTED TO EXISTING PLUMBING SUPPLY AND DRAIN LINES. REFER TO ID-XXX FOR MORE INFORMATION
- 33 NEW STONE AND TILE SHOWER PAN/DRAIN/CURB KIT, SEAT, SLIDING GLASS DOOR KIT AND PLUMBING COMPONENTS CONNECTED TO EXISTING PLUMBING SUPPLY AND DRAIN LINES. REFER TO ID-XXX FOR MORE INFORMATION
- 34 SALVAGED / RELOCATED DOOR WITH \*RIBBED\* DOOR PULL FROM KITCHEN TO BE INSTALLED IN POWDER ROOM TO CREATE HARDWARE CONSISTENCY FOR ALL EXISTING DOORS TO REMAIN
- 35 NEW 3/4" THK. FINISH PLYWOOD INFILL ON CONCEALED BLOCKING. PAINT TO MATCH ADJACENT STONE

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document issue		
date	no.	issue
2018-08-17		PERMIT SET/RELEASED FOR CONST.
2018-12-18	.1	CLARIFICATION DRAWINGS

scale AS NOTED  
date 2018-07-16  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

drawing title

CONSTRUCTION PLAN -  
EMPIRE SUITE

drawing no.

**ID-100**



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### CONSTRUCTION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH.
- PROTECT ALL EXISTING MOLDING AND WOOD BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.

- ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
- PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

### CONSTRUCTION KEYNOTES

- 01 EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PATCH AND REPAIR EXISTING DOOR TRIM AS NEEDED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW PAINT AS SPECIFIED.
- 02 EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET. REFURBISH AS REQUIRED.
- 03 EXISTING CLOSET SHELF AND ROD
- 04 REFURBISH/REPAIR AREA OF REMOVED SAFE AS REQUIRED

- 05 NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 06 NEW UNDER COUNTER REF. INSTALL NEW POWER/DATA FOR UNDER COUNTER REF.
- 07 NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- 08 NEW GYPSUM BOARD ON METAL STUD FRAMING.
- 09 NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.
- 10 NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
- 11 EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED
- 12 EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED
- 13 EXISTING OUTLET
- 14 EXISTING FIRE STROBE OR SMOKE DETECTOR

- 15 EXISTING THERMOSTAT
- 16 EXISTING DOORBELL/PRIVACY WALL DEVICE
- 17 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS
- 18 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED FRONT BAR.
- 19 EXISTING METAL TO BE GROUND SMOOTH AND POLISHED IN AREA AT REMOVED PORTION OF LEGS. PROVIDE RUBBER FEET AT BOTTOM.
- 20 EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS
- 21 EXISTING CLEAR MIRROR PANELS ON BOTH SIDES OF DOOR. REFURBISH IF/AS AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED
- 22 EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.
- 23 EXISTING WALL MOUNTED PHONE
- 24 AREA OF NEW BASE TO MATCH EXISTING

- 25 RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, 3/4"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION
- 26 NEW INSET, 1" BEVELED, 3/4"THK., CLEAR TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.
- 27 NEW WALL INFILL W/ ROOM SIDE GYP. BOARD FACING AT AREA OF EXISTING WINDOW. NEW GYP. BOARD TO MATCH EXISTING IN ALL RESPECTS. COMPLETE SCOPE OF CONSTRUCTION INCLUDING VENTILATION, FINISHES AT EXTERIOR SIDE FACING WINDOW, ETC. TO BE SIMILAR TO THAT OF EXISTING INFILL IN SUITE MODEL ROOM #922.

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scale AS NOTED  
date 2018-08-17  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

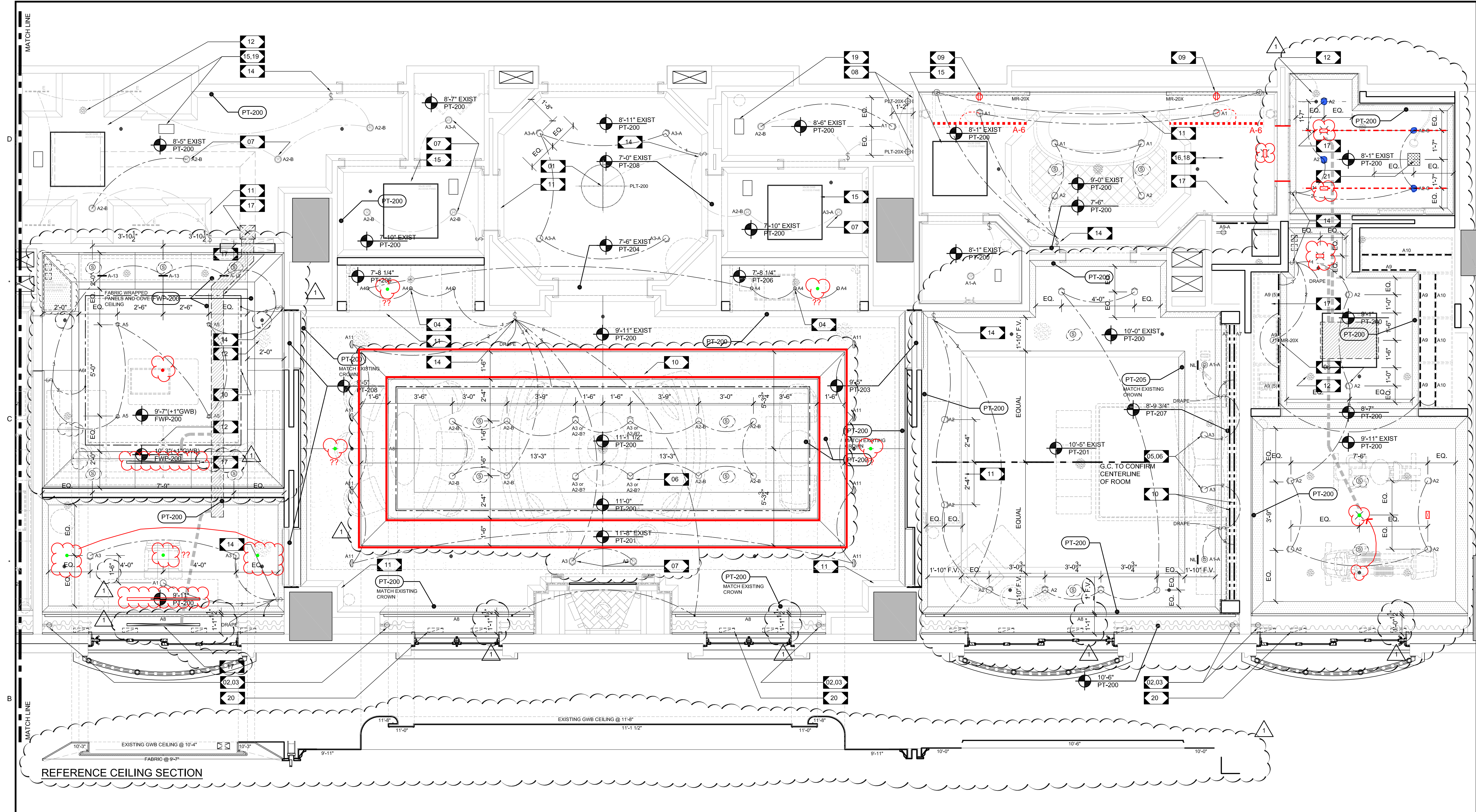
drawing title

CONSTRUCTION PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

**ID-100A**





REFLECTED CEILING PLAN - EMPIRE SUITE  
SCALE: 3/8" = 1'-0"

## REFLECTED CEILING SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
- ALL CEILING SURFACES TO BE PAINTED, REFER TO FINISH SCHEDULE FOR PAINT INFORMATION ON I-903.
- PRESERVE AND PROTECT ALL EXISTING EMERGENCY SYSTEM CEILING DEVICES, TYP.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- ALL EXISTING SURFACES OF CEILING, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPARED FOR THE SCHEDULED FINISH. REFER TO FINISH SCHEDULE I-903 FOR SCHEDULED NUMBER OR PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN CEILING OR WALLS SHALL BE PAINTED TO MATCH THE SURFACE FINISH. OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- TRIM OF EXISTING DOWNLIGHTS TO BE PAINTED TO MATCH ADJACENT CEILING U.N.O.
- GENERAL LIGHTING NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING "LUMASTREAM" AND "CONTROL4" LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM, IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.

- GENERAL LIGHTING NOTE:** ALL NEW DOWNLIGHTING SHOWN IS TO BE PROVIDED BY OWNER FROM EXISTING INVENTORY. COORDINATE ANY NEW REQUIRED COMPONENTRY WITH OWNER PRIOR TO CONSTRUCTION.
- SCOPE OF NEW SPRINKLERS TO BE DETERMINED AND COORDINATED BY GC/OWNER'S SPRINKLER SUB-CONTRACTOR WITH ALL APPLICABLE LOCAL CODE REQUIREMENTS, CEILING MATERIALS AND CEILING LAYOUT.

## REFLECTED CEILING KEYNOTES

- NEW LIGHT FIXTURE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE EXISTING J-BOX OR INSTALL NEW AS REQUIRED.
- NEW DRAPERY FABRIC. COORDINATE INSTALLATION WITH NEW TRACK, HOOKS AND MOTOR. REPAIR AND/OR REFURBISH GYP BOARD AND PROVIDE ADEQUATE SECURED ATTACHMENTS AS REQUIRED. REFER TO FINISH DRAWINGS AND SCHEDULE FOR SPECIFICATION AND ADDITIONAL INFORMATION.
- NEW DRAPERY MOTOR AND PLUG. COORDINATE WITH NEW DRAPERY FABRIC AS REQUIRED.
- INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- NEW LIGHT FIXTURE IN NEW LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING "CONTROL4" CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.

- NEW LIGHT FIXTURE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING "CONTROL4" CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED. INSTALL NEW GYPSUM BOARD INFILL AS REQUIRED WHERE EXISTING DOWNLIGHT WAS REMOVED TO FACILITATE INSTALLATION OF NEW FIXTURE. MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION, IF FEASIBLE, UTILIZE RELOCATED EXISTING J-BOX OR INSTALL NEW AS REQUIRED. NEW GYPSUM BOARD INFILL AS REQUIRED WHERE WALL SCONCES WERE REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.
- NEW DIMMABLE LINE VOLTAGE ELECTRIC MIRROR IN EXISTING LOCATION, IF FEASIBLE, UTILIZE EXISTING J-BOXES, CIRCUITS AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.
- NEW L.E.D. LINEAR STRIP LIGHT. PROVIDE NEW "CONTROL4" CIRCUIT AND/OR COMPONENTRY AS REQUIRED
- EXISTING PAINTED CROWN MOLDING TO BE CLEANED AND REFURBISHED. PREP SURFACE FOR APPLICATION OF NEW PAINT, PT-20X, TYP.
- NEW GYPSUM BOARD INFILL AS REQUIRED WHERE DOWNLIGHT AND/OR SPEAKER WAS REMOVED. PATCH, REPAIR AND MATCH ADJACENT LEVEL AND TEXTURE AS REQUIRED FOR APPLICATION OF NEW SCHEDULED FINISH.

- NEW "MODEGREEN / CONTROL4" SWITCH FOR INDEPENDENT CONTROL OF SCENCE LIGHTS IN THIS AREA
- EXISTING OR NEW "CONTROL4" SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING "SCENE" CONTROL TO BE COORDINATED WITH OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION
- EXISTING PAINTED MILLWORK ACCESS PANEL
- NEW PAINTED MILLWORK ACCESS PANEL TO MATCH EXISTING IN ALL RESPECTS
- NEW SUPPLY DUCT OR DIFFUSER CONNECTED TO EXISTING HVAC UNIT. SEE MEP DRAWING FOR MORE INFORMATION
- RELOCATED EXISTING HVAC UNIT. SEE MEP DRAWINGS FOR MORE INFORMATION
- EXISTING FLUSH ACCESS PANEL
- EXISTING R/A OPENING IN DRAPERY POCKET. CONFIRM EXTENT OF EXISTING SLOT IN CEILING. SEE MEP DRAWINGS
- NEW CEILING MOUNTED "RAIN" TYPE SHOWER HEAD, MODEL "XXX"

## LIGHT FIXTURE LEGEND

- |                        |   |              |                             |
|------------------------|---|--------------|-----------------------------|
| ⊕                      | EXISTING LIGHT FIXTURE  | ⊕ A11        | RECT. L.E.D. WALLWASHER     |
| ⊕ PLT-XX               | CEILING PENDANT   | --- A12, A13 | UNDER CABINET L.E.D. LIGHT  |
| ⊕ WSC-XX               | WALL SCONCE   | NL           | 12", FF&E L.E.D. NIGHTLIGHT |
| ⊕ A1, A-1A             | 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. A1 IS ADJUSTABLE, A-1A IS FIXED                                     | ⊕            | SWITCH AND/OR CIRCUIT       |
| ⊕ A2, A-2A, A-2B, A-2C | 2 1/2", L.E.D. DOWNLIGHT, 60° BEAMSPREAD. A2 IS ADJUSTABLE, A-2A IS FIXED, A-2B W/SPREAD LENS, A-2C WET RATED | ⊕            | J-BOX                       |
| ⊕ A3, A-3A             | 2 1/2", L.E.D. DOWNLIGHT, 25° BEAMSPREAD. 40° ADJUSTABILITY, A-3A IS 60° BEAMSPREAD                           | ●            | SPRINKLER                   |
| ○ A4                   | 1", FF&E L.E.D. BAR PUCK LIGHT  |              |                             |
| ○ A5                   | 2" L.E.D. PIN LIGHT AT MEDIA ROOM   |              |                             |
| --- A6, A7             | L.E.D. STRIP LIGHT, HARDWIRED. A7 IS PLUG END   |              |                             |
| --- A8                 | L.E.D. COVE LIGHT   |              |                             |
| --- A9, A-9A           | L.E.D. STRIP LIGHT, CORNER PROFILE. A-9A IS FLAT PROFILE  |              |                             |
| --- A10                | ILLUMINATED L.E.D. CLOSET ROD   |              |                             |

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date 2018-08-17  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

## REFLECTED CEILING PLAN - EMPIRE SUITE

drawing title  
drawing no.

**ID-200**

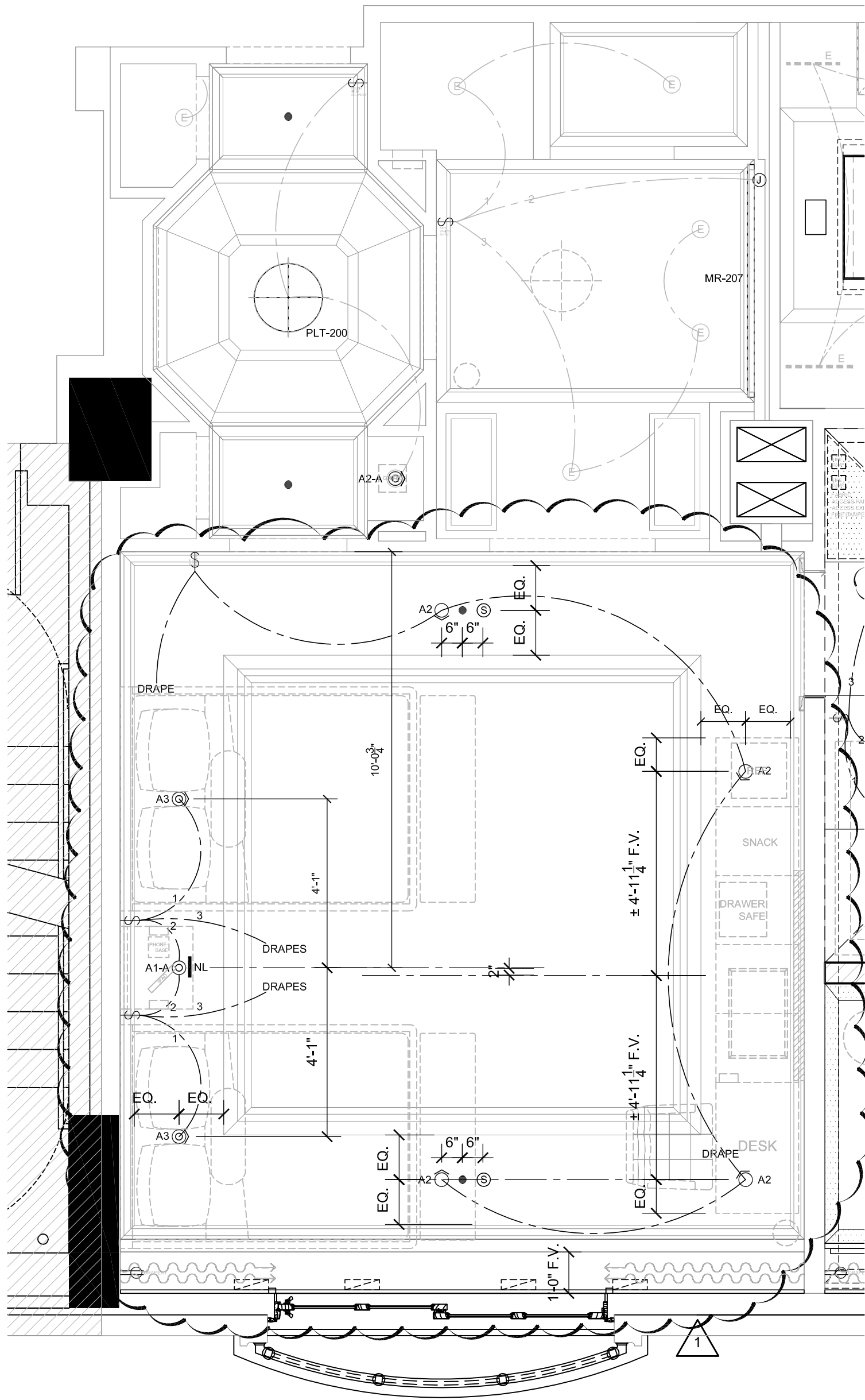


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REFLECTED CEILING PLAN - EMPIRE SUITE - CONNECTING ROOM  
SCALE: 3/8" = 1'-0"

1

### REFLECTED CEILING SHEET NOTES

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### REFLECTED CEILING KEYNOTES

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- INTEGRAL MILLWORK L.E.D. PUCK LIGHTING WITH PLUG END
- LIGHT FIXTURE TO BE CENTERED OVER PILLOW AS SHOWN. CONFIRM LOCATION WITH BED BELOW AND ADJUST AS REQUIRED
- NEW LIGHT FIXTURE IN **NEW** LOCATION. IF FEASIBLE, UTILIZE RELOCATED EXISTING 'CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTALL NEW AS REQUIRED.

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- RELOCATED EXISTING HVAC UNIT. SEE MEP DRAWINGS FOR MORE INFORMATION
- EXISTING FLUSH ACCESS PANEL
- EXISTING R/A OPENING IN DRAPERY POCKET. CONFIRM EXTENT OF EXISTING SLOT IN CEILING. SEE MEP DRAWINGS
- NEW CEILING MOUNTED "RAIN" TYPE SHOWER HEAD. MODEL "XXX"

### LIGHT FIXTURE LEGEND

- EXISTING LIGHT FIXTURE
- CEILING PENDANT
- WALL SCONCE
- A1, A-1A 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD. A1 IS ADJUSTABLE, A1-A IS FIXED
- A2, A-2A, A-2B, A-2C 2 1/2", L.E.D. DOWNLIGHT, 60" BEAMSPREAD. A2 IS ADJUSTABLE, A2-A IS FIXED, A-2B W/SPREAD LENS, A-2C WET RATED
- A3, A-3A 2 1/2", L.E.D. DOWNLIGHT, 25" BEAMSPREAD. 40" ADJUSTABILITY, A-3A IS 60" BEAMSPREAD
- A4 1", FF&E L.E.D. BAR PUCK LIGHT
- A5 2" L.E.D. PIN LIGHT AT MEDIA ROOM
- A6, A7 L.E.D. STRIP LIGHT, HARDWIRED, A7 IS PLUG END
- A8 L.E.D. COVE LIGHT
- A9, A9-A L.E.D. STRIP LIGHT, CORNER PROFILE. A9-A IS FLAT PROFILE
- A10 ILLUMINATED L.E.D. CLOSET ROD
- A11 RECT. L.E.D. WALLWASHER
- A12, A13 UNDER CABINET L.E.D. LIGHT
- 12", FF&E L.E.D. NIGHTLIGHT
- SWITCH AND/OR CIRCUIT
- J-BOX
- SPRINKLER

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date	no.	issue
2018-08-17	1	PERMIT SET/RELEASED FOR CONST.
2018-12-18	1	CLARIFICATION DRAWINGS

scale AS NOTED  
date 2018-08-17  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

drawing title

REFLECTED CEILING PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

**ID-200A**



drawing title

drawing no

**ID-300**

SCALE:  $3/8" = 1'-0"$

1

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACE PREPARED FOR THE SCHEDULED FINISH. REFER TO DRAWING E903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.

01	NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
02	EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.
03	NEW J'TH-K, CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING
04	NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.
05	NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.
06	NEW POWER AND/OR DATA DUPLEX RECEPTACLE DEVICE. MATCH COLOR AND FINISH OF NEW TO EXISTING DEVICES AND PLATES.
07	NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-900 FOR FURTHER INFORMATION.
08	NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.
09	EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.
10	EXISTING COFFEE NICHE MILLWORK. DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED

11	<p>REINSTALL EXISTING DOOR FRAME TO EXISTING POSITION. REPAIR/REPLACE EXISTING DOOR FRAME AS REQUIRED. NEW INSET, 3/4" THICK TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION</p>
12	<p>NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REPAIR/REPLACE EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED</p>
13	<p>EXISTING GLASS DOOR</p>
14	<p>NEW OWNER FURNISHED/ CONTRACTOR INSTALLED FABRIC WRAPPED WALL PANELS. REFER TO FINISH SCHEDULE ON SHEET I-303. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH. COORDINATE WITH ANY EQUIPMENT FOR HIDDEN SPEAKERS AND/ OR OTHER SURROUND SOUND EQUIPMENT INSTALLED AT THE WALLS.</p>
15	<p>INSTALL NEW CROWN MOULDING AND/OR NEW WALL BASE. REFER TO DETAIL SHEETS FOR MORE INFORMATION ON MOULDING PROFILES.</p>
16	<p>EXISTING KITCHEN CABINETS TO BE CLEANED AND REFINISHED TO LIKE NEW CONDITION. RETAIN ALL HARDWARE AND EQUIPMENT</p>

17. BASE FLOORING. REPAIR/REPLACE AS REQUIRED FOR LIKE NEW APPEARANCE. EXISTING WALL TILE AND TILE WALL BASE TO REMAIN. REFINISH TO LIKE NEW APPEARANCE. REPAIR CRACKS/ DAMAGE TO TILE AS NEEDED. MATCH EXISTING TILE WHERE DAMAGED PIECE/S MUST BE REPLACED.

18. CONTRACTOR PROVIDED AND INSTALLED TRANSITION STRIP BETWEEN CARPET AND LVT FLOORING. PROVIDE LEVEL SURFACE BETWEEN BOTH FLOORING MATERIALS FOR SMOOTH TRANSITION. CONFIRM THICKNESS OF MATERIALS WITH ID PRIOR TO ORDERING/ INSTALLING TRANSITION.

19. NEW RESILIENT FLOORING ON  $\frac{1}{4}$ " PLYWOOD UNDERLAYMENT. SECURE PLYWOOD TO EXISTING EXISTING WOOD FLOORING. INSTALL NEW FLOORING PER MANUFACTURER'S SPECIFICATIONS. REFER TO FINISH SCHEDULE ON SHEET I403.

20. NEW TUB DECK WITH QUARTZ TOP AND WOOD PANEL SIDES. SEE ELEVATIONS AND DETAILS FOR MORE FINISH INFORMATION. COORDINATE WITH PLUMBING SELECTIONS.

21. IN WASHER/DRYER AREA, INSTALL NEW WATERPROOF MEMBRANE, RAISED PLATFORM, TILE FLOORING, SHELVES, IN WALL WATER/RAIN CONNECTION AND NEW FLOOR DRAIN. G.C. TO CONNECT NEW DRAIN TO EXISTING DRAIN AS COORDINATED WITH PLUMBING SUB-CONTRACTOR ON SITE

22. NEW WOOD FLOORING INFILL IN AREA OF REMOVED HEARTH. "STITCH" IN TO EXISTING RANDOM BOARD LENGTHS AND FINISH TO MATCH EXISTING IN ALL RESPECTS.



D

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B

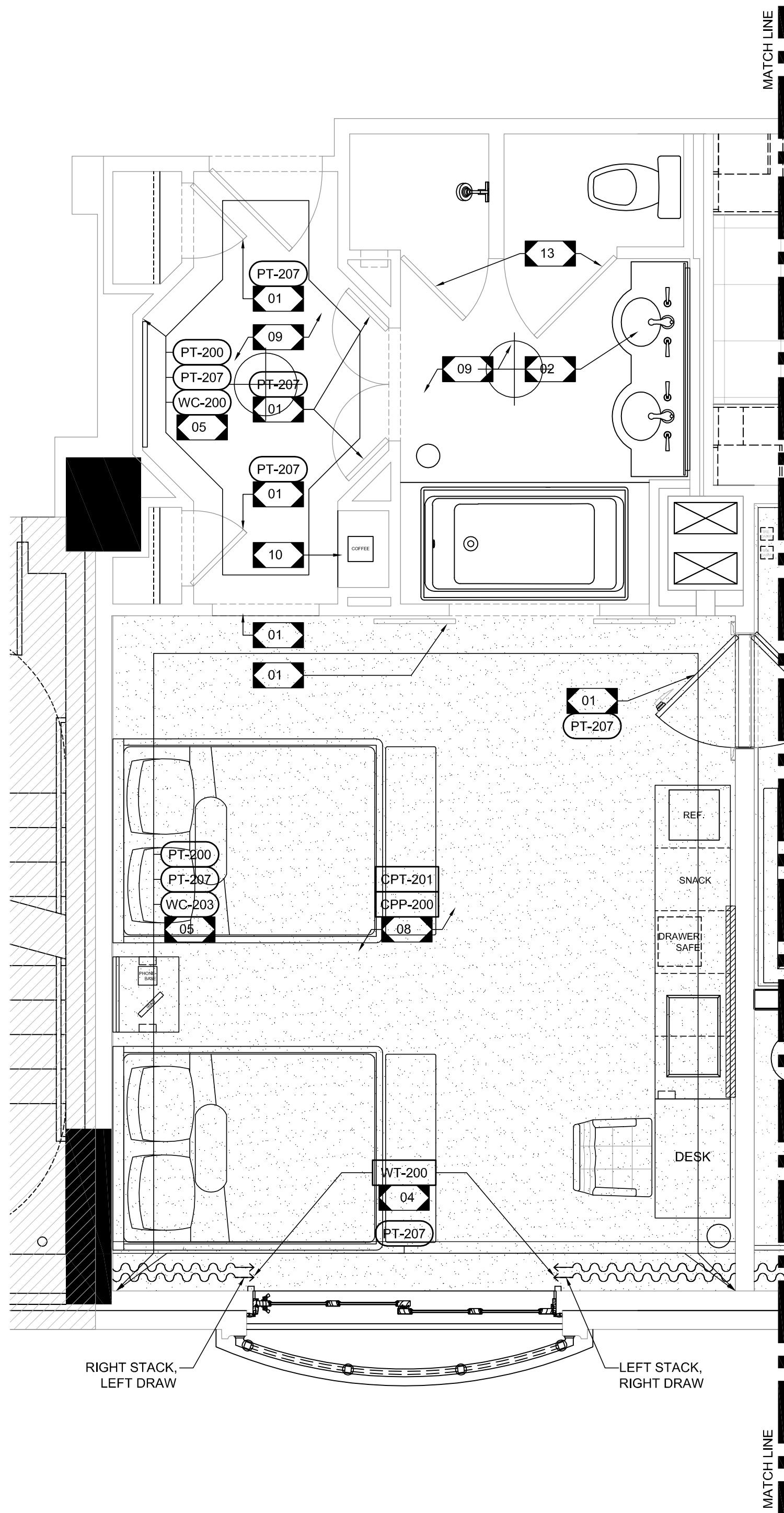
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### CONSTRUCTION SHEET NOTES

- PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
- PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
- PATCH, REPAIR AND LEVEL EXISTING STRUCTURAL TOPPING SLAB AS REQUIRED FOR NEW FLOOR FINISHES.
- PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
- WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
- COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
- NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
- ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
- ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO DRAWING I-903 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
- EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBSCURED BY PAINT AND SHALL BE FUNCTIONING.
- PROTECT ALL EXISTING MOLDING, AND BASE AS REQUIRED DURING CONSTRUCTION. PROTECT AS REQUIRED AS ADJACENT SURFACES RECEIVE NEW PAINT AND/OR WALLCOVERING.
- ALL EXISTING TILE FLOORING TO REMAIN U.N.O. REPAIR AND/OR REFURBISH AS REQUIRED. CLEAN GROUT AT ALL EXISTING TILED AREAS.
- PRESERVE AND PROTECT ANY/ALL EXISTING THERMOSTAT, OUTLET, SWITCHES, ETC. DURING CONSTRUCTION.

### CONSTRUCTION KEYNOTES

- |    |  |    |  |    |  |
|----|--|----|--|----|--|
| 01 | NEW OR EXISTING DOOR, FRAME, HARDWARE AND/OR THRESHOLD. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR SURFACE FOR APPLICATION OF NEW FINISH AS SPECIFIED. | 11 | RE-INSTALLED EXISTING DOOR AND HARDWARE IN NEW POSITION SHOWN. REPAIR/MODIFY FRAMES AS REQUIRED. NEW INSET, ¾" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD. OPERATION OF EXISTING DOOR SWITCH TO BE CONFIRMED TO BE OPERATIONAL WITH DOOR IN NEW POSITION | 17 | EXISTING FIREPLACE SURROUND, MANTLE, AND HEARTH TO REMAIN. REFURBISH AS REQUIRED FOR LIKE NEW APPEARANCE. EXISTING WALL TILE AND TILE WALL BASE TO REMAIN. REFINISH TO LIKE NEW APPEARANCE. REPAIR CRACKS/ DAMAGE TO TILE AS NEEDED. MATCH EXISTING TILE WHERE DAMAGED PIECE/S MUST BE REPLACED. |
| 02 | EXISTING VANITY TOP, BACKSPLASH, SINK AND FAUCET REFURBISH AS REQUIRED. EXISTING VANITY TO BE REFINISHED. REFER TO ELEVATIONS.                               | 12 | NEW 1" BEVELED CLEAR MIRROR PANEL ON BOTH SIDES OF DOOR. REFURBISH REMOVED EXISTING PERIMETER WOOD TRIM OR INSTALL NEW TO MATCH EXISTING AS REQUIRED. PULLS TO BE RE-PLATED TO MATCH M-100 ON BEDROOM SIDE ONLY. REPAIR EXISTING BATHROOM SIDE FINISH IF/AS REQUIRED   | 18 | CONTRACTOR PROVIDED AND INSTALLED TRANSITION STRIP BETWEEN CARPET AND LVT FLOORING. PROVIDE LEVEL SURFACE BETWEEN BOTH FLOORING MATERIALS FOR SMOOTH TRANSITION. CONFIRM THICKNESS OF MATERIALS WITH ID PRIOR TO ORDERING/ INSTALLING TRANSITION.  |
| 03 | NEW ¾" THK., CLEAR TEMPERED MIRROR TO BE INSTALLED ON NEW PLYWOOD AND METAL STUD FRAMING. NEW BASE AND CROWN MOLDING TO MATCH EXISTING                       | 13 | EXISTING GLASS DOOR  | 19 | NEW RESILIENT FLOORING ON ¾" PLYWOOD UNDERLAYMENT. SECURE PLYWOOD TO EXISTING EXISTING WOOD FLOORING. INSTALL NEW FLOORING PER MANUFACTURER'S SPECIFICATIONS. REFER TO FINISH SCHEDULE ON SHEET I-903.   |
| 04 | NEW WINDOW TREATMENT, ROD AND TRACK. REFER FF+E SPECIFICATION FOR MORE INFORMATION.  | 14 | NEW OWNER FURNISHED/ CONTRACTOR INSTALLED FABRIC WRAPPED WALL PANELS. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH. COORDINATE WITH A/V EQUIPMENT FOR HIDDEN SPEAKERS AND/ OR OTHER SURROUND SOUND EQUIPMENT INSTALLED AT THE WALLS.                                    | 20 | NEW TUB DECK WITH QUARTZ TOP AND WOOD PANEL SIDES. SEE ELEVATIONS AND DETAILS FOR MORE FINISH INFORMATION. COORDINATE WITH PLUMBING SELECTIONS.  |
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| 07 | NEW BAR FRONT MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.  |    |  |    |  |
| 08 | NEW CARPET AND PAD. REFER TO FINISH SCHEDULE ON SHEET I-903.   |    |  |    |  |
| 09 | EXISTING FLOOR FINISH. REPAIR AND/OR REFURBISH AS REQUIRED.  |    |  |    |  |
| 10 | EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED  |    |  |    |  |



FINISH PLAN - EMPIRE SUITE - CONNECTING ROOM  
SCALE: 3/8" = 1'-0"

1

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Empire Suite Renovation

document issue

date	no.	issue
2018-08-17	-	PERMIT SET/RELEASED FOR CONST.
2018-12-18	.1	CLARIFICATION DRAWINGS
-	-	-
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scale AS NOTED

date 2018-08-17

drawn by BC/JLM

checked JLM

project no. 1714.05

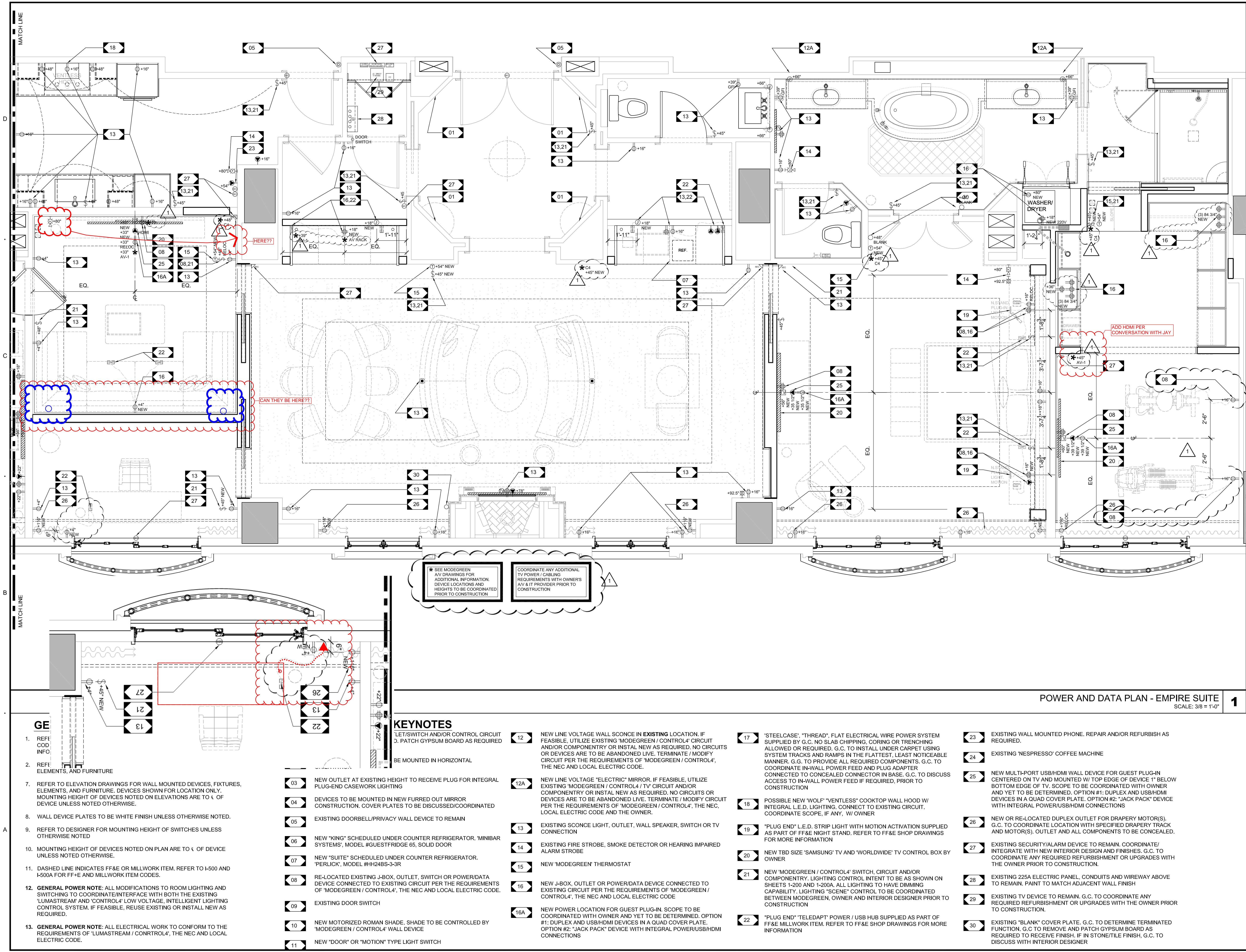
drawing title

FINISH PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

ID-300A





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scale	AS NOTED
date	2018-08-17
drawn by	BC/JLM
checked	JLM
project no.	1714.05
drawing title	
POWER AND DATA PLAN - EMPIRE SUITE	
-	
-	
drawing no.	
ID-400	



D

C

B

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### GENERAL POWER AND DATA NOTES

- REFER TO SHEET I-500 AND I-500A FOR FURNITURE AND FF&E LAYOUT AND CODES. SEE FF&E SPECIFICATIONS PACKAGE FOR ADDITIONAL INFORMATION ON CODED FF&E ITEMS.
- REFER TO ELEVATION DRAWINGS FOR WALL MOUNTED DEVICES, FIXTURES, ELEMENTS, AND FURNITURE
- REFER TO ELEVATION DRAWINGS FOR WALL MOUNTED DEVICES, FIXTURES, ELEMENTS, AND FURNITURE. DEVICES SHOWN FOR LOCATION ONLY. MOUNTING HEIGHT OF DEVICES NOTED ON ELEVATIONS ARE TO 1/4" OF DEVICE UNLESS NOTED OTHERWISE.
- WALL DEVICE PLATES TO BE WHITE FINISH UNLESS OTHERWISE NOTED.
- REFER TO DESIGNER FOR MOUNTING HEIGHT OF SWITCHES UNLESS OTHERWISE NOTED
- MOUNTING HEIGHT OF DEVICES NOTED ON PLAN ARE TO 1/4" OF DEVICE UNLESS NOTED OTHERWISE.
- DASHED LINE INDICATES FF&E OR MILLWORK ITEM. REFER TO I-500 AND I-500A FOR FF&E AND MILLWORK ITEM CODES.
- GENERAL POWER NOTE:** ALL MODIFICATIONS TO ROOM LIGHTING AND SWITCHING TO COORDINATE/INTERFACE WITH BOTH THE EXISTING 'LUMASTREAM' AND 'CONTROL4' LOW VOLTAGE, INTELLIGENT LIGHTING CONTROL SYSTEM. IF FEASIBLE, REUSE EXISTING OR INSTALL NEW AS REQUIRED.
- GENERAL POWER NOTE:** ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF 'LUMASTREAM' / CONRTROL4', THE NEC AND LOCAL ELECTRIC CODE.

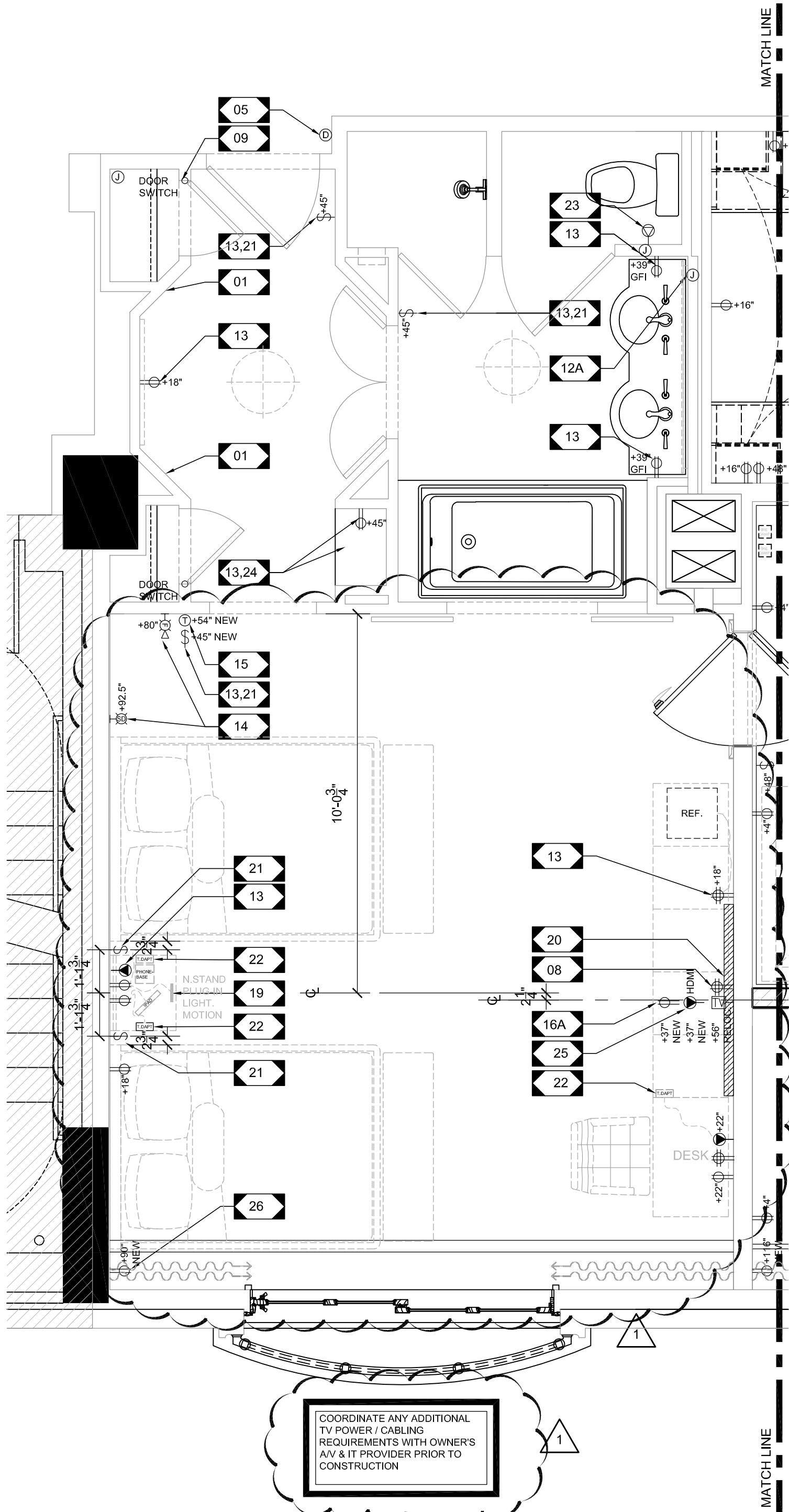
### POWER AND DATA KEYNOTES

- EXISTING SCONCE LIGHT/OUTLET/SWITCH AND/OR CONTROL CIRCUIT TO BE TERMINATED/REMOVED. PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH
- NEW OUTLET OR SWITCH TO BE MOUNTED IN HORIZONTAL ORIENTATION
- NEW OUTLET AT EXISTING HEIGHT TO RECEIVE PLUG FOR INTEGRAL PLUG-END CASEWORK LIGHTING
- DEVICES TO BE MOUNTED IN NEW FURRED OUT MIRROR CONSTRUCTION. COVER PLATES TO BE DISCUSSED/COORDINATED
- EXISTING DOORBELL/PRIVACY WALL DEVICE TO REMAIN
- NEW "KING" SCHEDULED UNDER COUNTER REFRIGERATOR. 'MINIBAR SYSTEMS', MODEL #GUESTFRIDGE 65, SOLID DOOR
- NEW "SUITE" SCHEDULED UNDER COUNTER REFRIGERATOR. 'PERLUCK', MODEL #HH24BS-3-3R
- RE-LOCATED EXISTING J-BOX, OUTLET, SWITCH OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN' / CONTROL4', THE NEC AND LOCAL ELECTRIC CODE.
- EXISTING DOOR SWITCH
- NEW MOTORIZED ROMAN SHADE. SHADE TO BE CONTROLLED BY 'MODEGREEN' / CONTROL4' WALL DEVICE
- NEW "DOOR" OR "MOTION" TYPE LIGHT SWITCH

- NEW LINE VOLTAGE WALL SCONCE IN EXISTING LOCATION. IF FEASIBLE, UTILIZE EXISTING 'MODEGREEN' / CONTROL4' CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN' / CONTROL4', THE NEC AND LOCAL ELECTRIC CODE.
- NEW LINE VOLTAGE "ELECTRIC" MIRROR. IF FEASIBLE, UTILIZE EXISTING 'MODEGREEN' / CONTROL4' / TV CIRCUIT AND/OR COMPONENTRY OR INSTAL NEW AS REQUIRED. NO CIRCUITS OR DEVICES ARE TO BE ABANDONED LIVE. TERMINATE / MODIFY CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN' / CONTROL4', THE NEC, LOCAL ELECTRIC CODE AND THE OWNER.
- EXISTING SCONCE LIGHT, OUTLET, WALL SPEAKER, SWITCH OR TV CONNECTION
- EXISTING FIRE STROBE, SMOKE DETECTOR OR HEARING IMPAIRED ALARM STROBE
- NEW 'MODEGREEN' THERMOSTAT
- NEW J-BOX, OUTLET OR POWER/DATA DEVICE CONNECTED TO EXISTING CIRCUIT PER THE REQUIREMENTS OF 'MODEGREEN' / CONTROL4', THE NEC AND LOCAL ELECTRIC CODE
- NEW POWER LOCATION FOR GUEST PLUG-IN. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS

- 'STEELCASE' "THREAD" FLAT ELECTRICAL WIRE POWER SYSTEM SUPPLIED BY G.C. NO SLAB CHIPPING, CORING OR TRENCHING ALLOWED OR REQUIRED. G.C. TO INSTALL UNDER CARPET USING SYSTEM TRACKS AND RAMPS IN THE FLATTEST, LEAST NOTICEABLE MANNER. G.G. TO PROVIDE ALL REQUIRED COMPONENTS. G.C. TO COORDINATE IN-WALL POWER FEED AND PLUG ADAPTER CONNECTED TO CONCEALED CONNECTOR IN BASE. G.C. TO DISCUSS ACCESS TO IN-WALL POWER FEED IF REQUIRED, PRIOR TO CONSTRUCTION
- POSSIBLE NEW "WOLF" "VENTLESS" COOKTOP WALL HOOD W/ INTEGRAL L.E.D. LIGHTING. CONNECT TO EXISTING CIRCUIT. COORDINATE SCOPE, IF ANY, W/ OWNER
- "PLUG END" L.E.D. STRIP LIGHT WITH MOTION ACTIVATION SUPPLIED AS PART OF FF&E NIGHT STAND. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- NEW TBD SIZE 'SAMSUNG' TV AND 'WORLDWIDE' TV CONTROL BOX BY OWNER
- NEW 'MODEGREEN' / CONTROL4' SWITCH, CIRCUIT AND/OR COMPONENTRY. LIGHTING CONTROL INTENT TO BE AS SHOWN ON SHEETS I-200 AND I-200A. ALL LIGHTING TO HAVE DIMMING CAPABILITY. LIGHTING "SCENE" CONTROL TO BE COORDINATED BETWEEN MODEGREEN, OWNER AND INTERIOR DESIGNER PRIOR TO CONSTRUCTION
- "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION

- EXISTING WALL MOUNTED PHONE. REPAIR AND/OR REFURBISH AS REQUIRED.
- EXISTING 'NESPRESSO' COFFEE MACHINE
- NEW MULTI-PORT USB/HDMI WALL DEVICE FOR GUEST PLUG-IN CENTERED ON TV AND MOUNTED W/ TOP EDGE OF DEVICE 1" BELOW BOTTOM EDGE OF TV. SCOPE TO BE COORDINATED WITH OWNER AND YET TO BE DETERMINED. OPTION #1: DUPLEX AND USB/HDMI DEVICES IN A QUAD COVER PLATE. OPTION #2: "JACK PACK" DEVICE WITH INTEGRAL POWER/USB/HDMI CONNECTIONS
- NEW OR RE-LOCATED DUPLEX OUTLET FOR DRAPERY MOTOR(S). G.C. TO COORDINATE LOCATION WITH SPECIFIED DRAPERY TRACK AND MOTOR(S). OUTLET AND ALL COMPONENTS TO BE CONCEALED.
- EXISTING SECURITY/ALARM DEVICE TO REMAIN. COORDINATE/ INTEGRATE WITH NEW INTERIOR DESIGN AND FINISHES. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPGRADES WITH THE OWNER PRIOR TO CONSTRUCTION.
- EXISTING 225A ELECTRIC PANEL, CONDUITS AND WIREWAY ABOVE TO REMAIN. PAINT TO MATCH ADJACENT WALL FINISH
- EXISTING TV DEVICE TO REMAIN. G.C. TO COORDINATE ANY REQUIRED REFURBISHMENT OR UPGRADES WITH THE OWNER PRIOR TO CONSTRUCTION.
- EXISTING "BLANK" COVER PLATE. G.C. TO DETERMINE TERMINATED FUNCTION. G.C. TO REMOVE AND PATCH GYPSUM BOARD AS REQUIRED TO RECEIVE FINISH. IF IN STONE/TILE FINISH, G.C. TO DISCUSS WITH INTERIOR DESIGNER



POWER AND DATA PLAN - EMPIRE SUITE - CONNECTING ROOM  
SCALE: 3/8" = 1'-0"

1

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key plan and project address

The St. Regis Atlanta  
Eighty-Eight West Paces Ferry Road  
Atlanta GA, 30305  
Empire Suite Renovation

document issue

date	no.	issue
2018-08-17	-	PERMIT SET/RELEASED FOR CONST.
2018-12-18	.1	CLARIFICATION DRAWINGS
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scale AS NOTED

date 2018-08-17

drawn by BC/JLM

checked JLM

project no. 1714.05

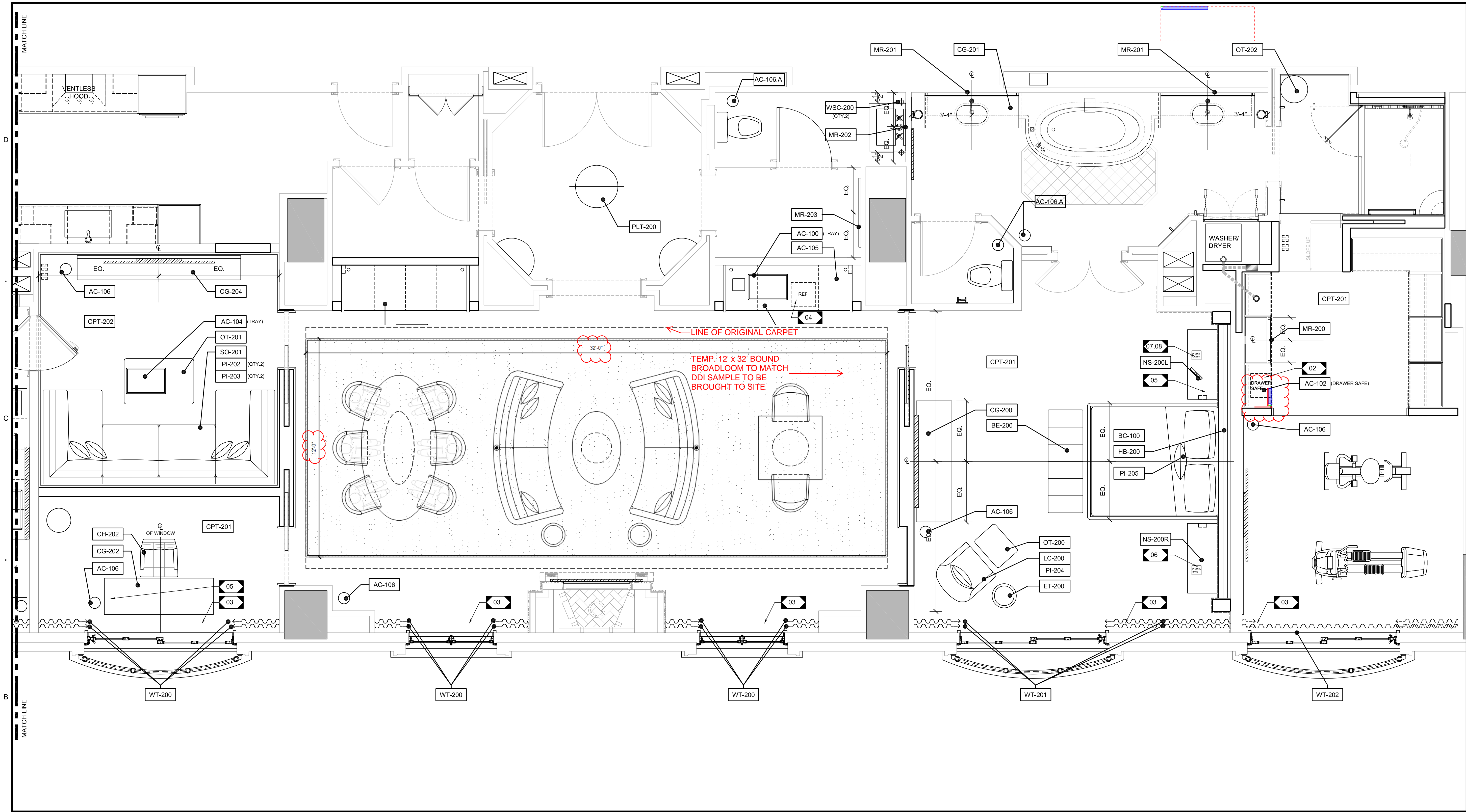
drawing title

POWER AND DATA PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

**ID-400A**





### FF+E SHEET NOTES

- REFER TO FF+E SCHEDULE AND SPECIFICATIONS FOR FF+E KEYED NOTE DESCRIPTIONS INCLUDING NEW LIGHT FIXTURES.
- TV, AUDIO VISUAL AND PERSONAL CONNECTIVITY EQUIPMENT BY OWNER.
- REFER TO ELEVATIONS ON IE-601 FOR MOUNTING LOCATIONS OF ARTWORK AND MIRRORS.

### FF+E KEYNOTES

- 01** COFFEE MACHINE LOCATION
- 02** DRAWER SAFE, SAFEMARK MODEL DN 5.4. G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM
- 03** NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.
- 04** NEW UNDER COUNTER REFRIGERATOR. CONFIRM / PROVIDE VENTILATION PER MANUFACTURER'S REQUIREMENTS. REFER TO FF&E SHOP DRAWINGS AND I-800 FOR DETAILS.
- 05** "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION
- 06** PHONE BASE LOCATION
- 07** PHONE WIRELESS HANDSET / CHARGING BASE LOCATION
- 08** I-PAD DEVICE
- 09** NEW UNDER COUNTER ICE MAKER. CONFIRM/ PROVIDE VENTILATION AND WATER SUPPLY CONNECTIONS PER MANUFACTURER'S REQUIREMENTS.

FURNITURE PLAN - EMPIRE SUITE  
SCALE: 3/8" = 1'-0"

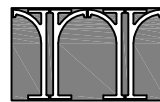
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scale AS NOTED  
date 2018-08-03  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

drawing title

FURNITURE PLAN -  
EMPIRE SUITE

drawing no.

**ID-500**



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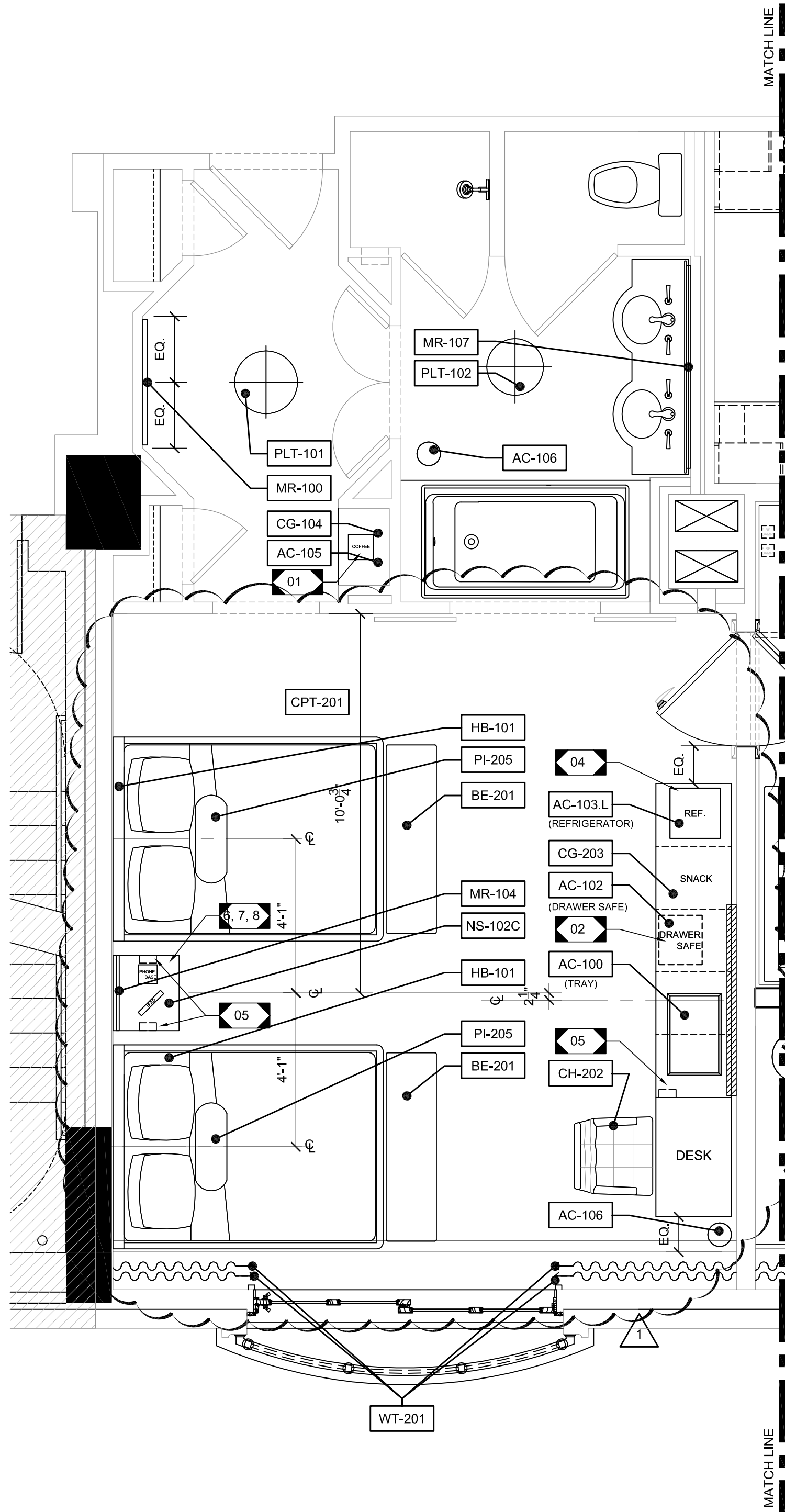
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- TV, AUDIO VISUAL AND PERSONAL CONNECTIVITY EQUIPMENT BY OWNER.
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### FF+E KEYNOTES

- |    |   |
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| 01 | COFFEE MACHINE LOCATION   |
| 02 | DRAWER SAFE, SAFEMARK MODEL DN 5.4, G.C. TO COORDINATE INSTALLATION IN FF&E MILLWORK ITEM   |
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| 05 | "PLUG END" "TELEDAPT" POWER / USB HUB SUPPLIED AS PART OF FF&E MILLWORK ITEM. REFER TO FF&E SHOP DRAWINGS FOR MORE INFORMATION  |
| 06 | PHONE BASE LOCATION   |
| 07 | PHONE WIRELESS HANDSET / CHARGING BASE LOCATION   |
| 08 | I-PAD DEVICE  |
| 09 | NEW UNDER COUNTER ICE MAKER. CONFIRM/ PROVIDE VENTILATION AND WATER SUPPLY CONNECTIONS PER MANUFACTURER'S REQUIREMENTS.   |



FURNITURE PLAN - EMPIRE SUITE - CONNECTING ROOM  
SCALE: 3/8" = 1'-0"

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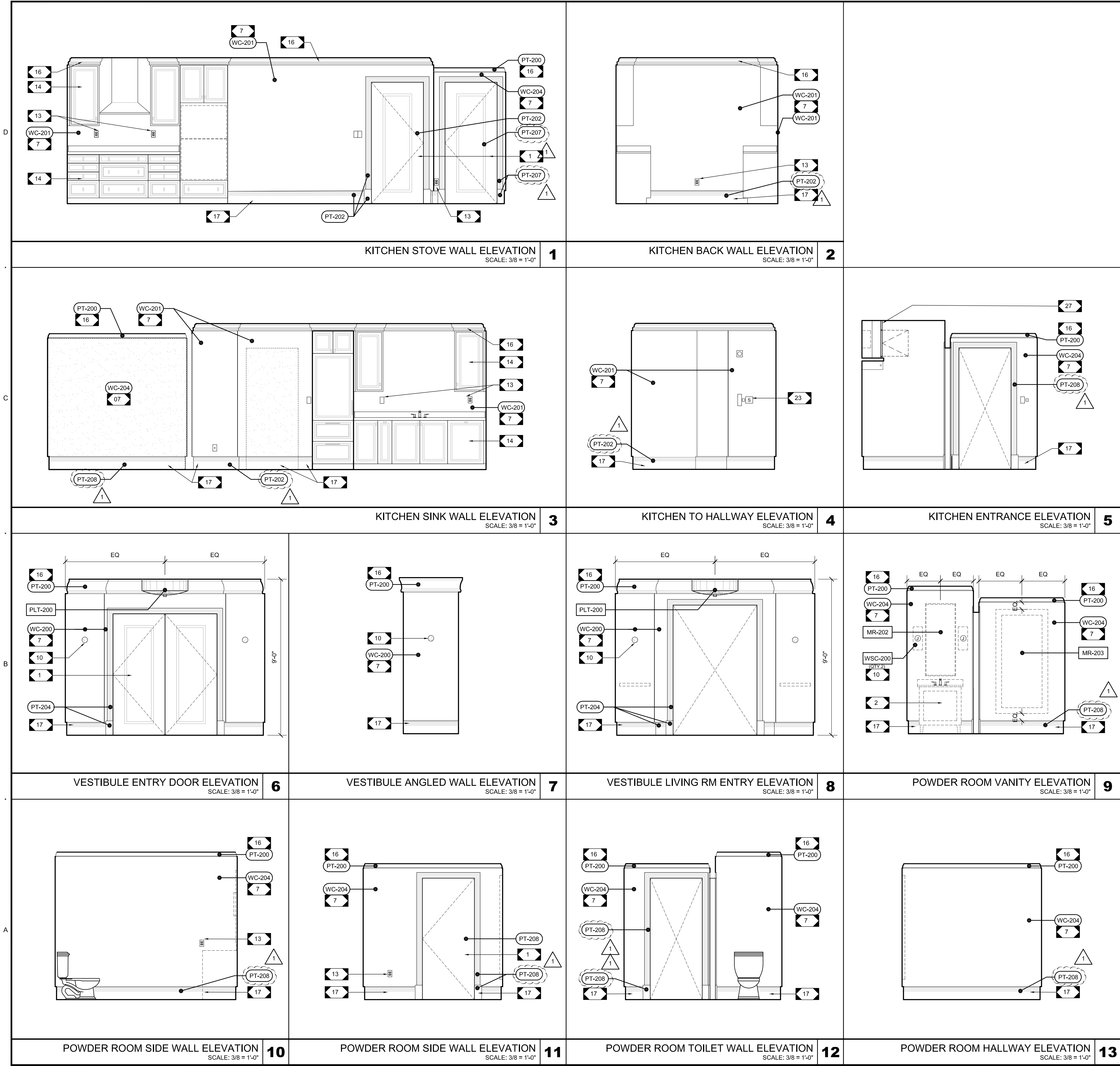
drawing title

FURNITURE PLAN -  
EMPIRE SUITE  
CONNECTING ROOM

drawing no.

**ID-500A**





### ELEVATION SHEET NOTES

1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWB PARTITION UNLESS OTHERWISE NOTED.
9. ALL EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPPED FOR THE SCHEDULED FINISH. REFER TO I-903 FOR SCHEDULED NUMBER OF PRIMERS AND FINISH COATS.
10. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL SURFACES SCHEDULED FOR PAINTING SHALL BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBTAINED BY PAINT AND SHALL BE FUNCTIONING.
11. REFER TO FF+E PLANS AND SPECIFICATION FOR ALL FF+E ITEMS. FF+E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
12. EXISTING POWER AND/OR DATA PORTS, WINDOWS, SILLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

### ELEVATION KEYNOTES

- | KEYNOTE | DESCRIPTION  |
|---------|--|
| 01      | EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.  |
| 02      | EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET. REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.   |
| 03      | NEW UPHOLSTERED WALL PANELS. PREP WALL FOR PANEL CLEATS. SEE FINISH SCHEDULE FOR PANEL TYPE AND MATERIAL.  |
| 04      | EXISTING FIREPLACE, HEARTH, MANTLE, AND SURROUNDING WALL TILE TO REMAIN. REFURBISH TO LIKE NEW CONDITION. 3/4" PLYWOOD INFILL PAINTED TO MATCH STONE FOR TV BRACKET INSTALL  |
| 05      | NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.                            |
| 06      | NEW UNDER COUNTER REF. AND/ OR ICE MAKER. INSTALL NEW POWER/DATA FOR UNDER COUNTER EQUIPMENT.  |
| 07      | NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.   |
| 08      | NEW GYPSUM BOARD ON METAL STUD FRAMING.  |
| 09      | NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.   |
| 10      | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS  |
| 11      | OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT. COORDINATE W/ NEW WALL FINISHES AND ADJUST AS REQUIRED  |
| 12      | EXISTING COFFEE NICHE MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL   |
| 13      | EXISTING OUTLET, FIRE STROBE OR SMOKE DETECTOR. COORDINATE W/ NEW WALL FINISHES AND ADJUST AS REQUIRED   |
| 14      | REFINISH EXISTING KITCHEN MILLWORK TO LIKE NEW CONDITION. PATCH AND REPAIR NICKS AND SCRATCHES IN THE WOOD. REMOVE STONE TOP, BACKSPLASH, SINK AND FAUCET. PREP FOR NEW FINISH.  |
| 15      | NEW FF&E ELECTRIC MIRROR   |
| 16      | EXISTING CROWN MOLDING TO REMAIN; CLEAN AND REFURBISH. PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.   |
| 17      | EXISTING WOOD OR TILE BASE TO REMAIN; CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION   |
| 18      | NEW FABRIC PANELS INSTALLED ON EXISTING CONNECTING DOOR. COORDINATE DOOR HARDWARE AND PANEL CUT-OUTS AS REQUIRED   |
| 19      | NEW POCKET DOOR AND 'HAFELE' POCKET DOOR HARDWARE KIT W/ 'SOFT-CLOSE' FEATURE. KIT TO BE COORDINATED W/ DOOR SIZE AND WEIGHT PER MANUFACTURER'S SPECIFICATIONS. COORDINATE ANY FABRIC PANEL CLADDING AND/OR REVEALS IN FINISH FACE AS SHOWN ON ROOM ELEVATIONS |
| 20      | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS   |
| 21      | SCHEDULED LIGHT FIXTURE  |
| 22      | EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.   |
| 23      | EXISTING WALL MOUNTED PHONE  |
| 24      | AREA OF NEW BASE AND/ OR CROWN MOLDING TO MATCH EXISTING. FOR BASE, COORDINATE W/ ANY REMOVED ELECTRICAL DEVICES   |
| 25      | NEW 1 1/2" DEEP WHITE PLASTIC LAMINATE SHELVES ON WHITE KNAPE AND VOGHT BRACKETS AND PILASTER STANDARDS  |
| 26      | NEW INSET 3/4" THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.   |
| 27      | NEW RETRO-FIT WHITE PAINTED UPPER CABINET FACE AND DOORS ON EUROPEAN HINGES TO CONCEAL SECURITYIT EQUIPMENT.   |
| 28      | NEW 3'-0" WIDE SWING DOOR TO MATCH EXISTING PANELED SWING DOORS IN ALL RESPECTS. NEW DOOR HARDWARE AND FRAME TO MATCH EXISTING IN ALL RESPECTS. DOOR TO HAVE OPEN LOUVERS IN MASTER BATH   |
| 29      | EXISTING WALL TILE TO REMAIN. REPAIR ANY CRACKED/ DAMAGED TILE BY REPLACING WITH NEW TILE TO MATCH OR PAINTING TO MATCH EXISTING VEINING.  |
| 30      | INSTALL SAFEMARK DN 5.4 DRAWER SAFE (BLACK) WITHIN CLOSET  |

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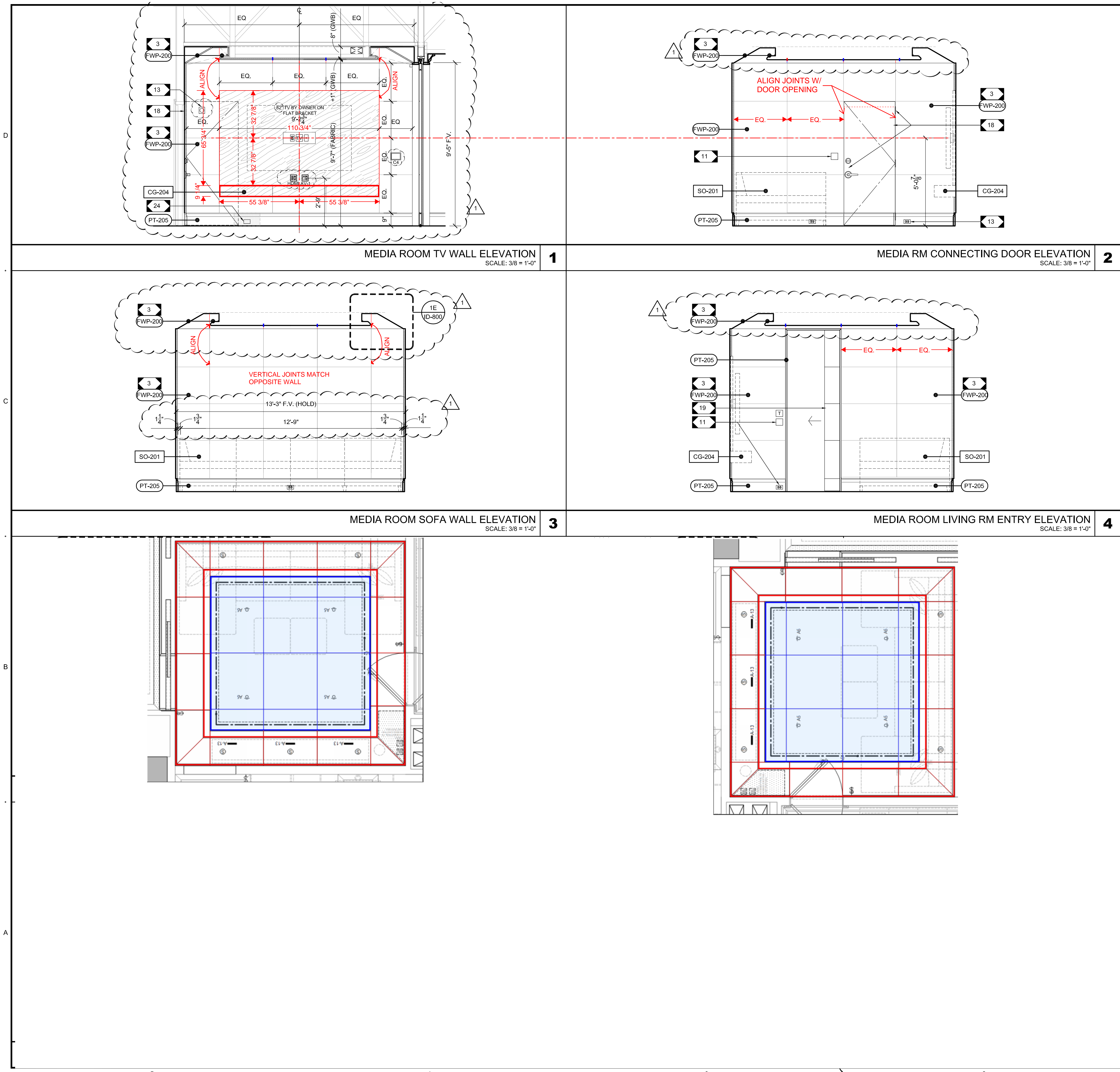
drawing title

INTERIOR ELEVATIONS

drawing no.

**ID-600**





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30. INSTALL SAFEMARK DN 5.4 DRAWER SAFE (BLACK) WITHIN CLOSET DRAWER WHERE INDICATED. FOLLOW MFR INSTALL INSTRUCTIONS.

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consultants

client name and address

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Orlando, FL 32827

key plan and project address

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scale AS NOTED  
date 2018-08-17  
drawn by BC/JLM  
checked JLM  
project no. 1714.05

drawing title

INTERIOR ELEVATIONS

drawing no.

**ID-601**



1. PRIOR TO START OF CONSTRUCTION, FIELD VERIFY ALL DIMENSIONS & NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES.
2. PROTECT AND PRESERVE EXISTING DOORS AND DOOR FRAMES U.N.O.
3. ALL MOLDING AND BASE TO BE COVERED AND PROTECTED DURING CONSTRUCTION.
4. PATCH AND REPAIR ALL EXISTING SUBSTRATE AS REQUIRED AFTER DEMOLITION PHASE.
5. WHERE REQUIRED, PROVIDE FIRE TREATED WOOD BLOCKING WITHIN EXISTING CONSTRUCTION; TYPICAL.
6. COORDINATE ALL WORK, INCLUDING DELIVERY AND STAGING OF BUILDING MATERIALS, WITH OWNER TO MINIMIZE DISRUPTIONS OF ONGOING OPERATIONS.
7. NOTIFY OWNER OF ALL ANTICIPATED UTILITY DISRUPTIONS AND OBTAIN APPROVAL BEFORE INITIATING DISRUPTIONS.
8. ALL DIMENSIONS ARE TO FACE OF GWP PARTITION UNLESS OTHERWISE NOTED.
9. EXISTING SURFACES OF CEILINGS, WALLS, AND RUNNING TRIM SCHEDULED TO RECEIVE NEW PAINT COATINGS SHALL BE PATCHED, REPAIRED, AND CLEANED TO PROVIDE SMOOTH AND MONOLITHIC SURFACES PREPARED FOR THE SCHEDULED FINISH. REFER TO I-303 FOR SCHEDULED NUMBER OF PRIMER AND FINISH COATS.
10. EXISTING HVAC GRILLES AND ACCESS PANELS INSTALLED IN THE CEILING OR WALL ARE TO BE REMOVED FOR PAINTING SHALL NOT BE PAINTED TO MATCH THE SURFACE FINISH AND OPENINGS SHALL NOT BE OBTURED BY PAINT AND SHALL BE FUNCTIONING.
11. REFER TO FF-E PLANS AND SPECIFICATION FOR ALL FF-E ITEMS. FF-E ITEMS SHOW ON THESE ELEVATIONS ARE FOR REFERENCE AND COORDINATION OF INSTALL WITH CONSTRUCTION.
12. EXISTING POWER AND/OR DATA PORTS, WINDOW CASLS, PLUMBING FIXTURES, CONTROLS, AND ACCESSORIES. CLEAN AND REPAIR IF/AS REQUIRED.

01	EXISTING DOOR, FRAME, AND HARDWARE. CLEAN AND REFURBISH IF/AS REQUIRED. PREPARE DOOR FRAME AND/OR DOOR FOR APPLICATION OF NEW PAINT AS SPECIFIED.
02	EXISTING VANITY TOP, BACKSPLASH, SINK, TUB, FAUCET AND/OR TOILET. REFURBISH AS REQUIRED. AT SUITE POWDER ROOM RE-INSTALL EXISTING WALL MIRROR.
03	NEW UPHOLSTERED WALL PANELS. PREP WALL FOR PANEL CLEATS. SEE FINISH SCHEDULE FOR PANEL TYPE AND MATERIAL.
04	EXISTING FIREPLACE, HEARTH, MANTLE, AND SURROUNDING WALL TILE TO REMAIN. REFURBISH TO LIKE NEW CONDITION. 3" PLYWOOD INFILL PAINTED TO MATCH STONE FOR TV BRACKET INSTALL.

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| 05 | NEW MOTORIZED VERTICAL SHADE OR DRAPERY FABRIC, HOOKS AND MOTORIZED HORIZONTAL TRACK. COORDINATE INSTALLATION WITH EXISTING BLOCKING OR INSTALL NEW CONCEALED BLOCKING AS REQUIRED. REPAIR AND/OR REFURBISH GYP. BOARD AS REQUIRED.                            |
| 06 | NEW UNDER COUNTER REF. AND/ OR ICE MAKER, INSTALL NEW POWER/DATA FOR UNDER COUNTER EQUIPMENT.  |
| 07 | NEW OWNER FURNISHED / CONTRACTOR INSTALLED WALL COVERING. REFER TO FINISH SCHEDULE ON SHEET I-903. PREP WALLS AS REQUIRED TO RECEIVE NEW FINISH.   |
| 08 | NEW GYPSUM BOARD ON METAL STUD FRAMING.<br>-   |
| 09 | NEW FF&E BAR MILLWORK WITH GLASS SHELVES. REFER TO DETAILS ON I-800 FOR FURTHER INFORMATION.   |
| 10 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING SCONCE LIGHTS  |
| 11 | OUTLET, SWITCH, TV CONNECTION OR THERMOSTAT. COORDINATE W/ NEW WALL FINISHES AND ADJUST AS REQUIRED  |
| 12 | EXISTING COFFEE NICH MILLWORK, DRAWER FRONTS, TOPS AND SIDES TO BE PAINTED. NEW BEVELED MIRROR PANEL AT REAR WALL  |
| 13 | EXISTING OUTLET, FIRE STROBE OR SMOKE DETECTOR. COORDINATE W/ NEW WALL FINISHES AND ADJUST AS REQUIRED   |
| 14 | REFINISH EXISTING KITCHEN MILLWORK TO LIKE NEW CONDITION. PATCH AND REPAIR NICKS AND SCRATCHES IN THE WOOD. REMOVE STONE TOP, BACKSPLASH, SINK AND FAUCET. PREP FOR NEW FINISH   |
| 15 | NEW FF&E ELECTRIC MIRROR<br>-  |
| 16 | EXISTING CROWN MOLDING TO REMAIN; CLEAN AND REFURBISH. PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION.   |
| 17 | EXISTING WOOD OR TILE BASE TO REMAIN; CLEAN AND REFURBISH. FOR WOOD BASE, PREP SURFACE FOR APPLICATION OF NEW PAINT. REFER TO SHEET I-903 FOR MORE INFORMATION   |
| 18 | NEW FABRIC PANELS INSTALLED ON EXISTING CONNECTING DOOR, COORDINATE DOOR HARDWARE AND PANEL CUT-OUTS AS REQUIRED   |
| 19 | NEW POCKET DOOR AND "HAFELE" POCKET DOOR HARDWARE KIT W/ "SOFT-CLOSE" FEATURE. KIT TO BE COORDINATED W/ DOOR SIZE AND WEIGHT PER MANUFACTURER'S SPECIFICATIONS. COORDINATE ANY FABRIC PANEL CLADDING AND/OR REVEALS IN FINISH FACE AS SHOWN ON ROOM ELEVATIONS |

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| 20 | EXISTING GYP. BOARD TO BE REPAIRED AND PREPPED FOR NEW FINISH IN AREA OF REMOVED EXISTING GLASS SHELF AND WALL MOUNTED SUPPORT CLIPS   |
| 21 | SCHEDULED LIGHT FIXTURE<br>-   |
| 22 | EXISTING GLASS DOOR, JAMB, HARDWARE AND/OR CURB. CLEAN AND REFURBISH IF/AS REQUIRED.   |
| 23 | EXISTING WALL MOUNTED PHONE<br>-   |
| 24 | AREA OF NEW BASE AND/ OR CROWN MOULDING TO MATCH EXISTING. FOR BASE, COORDINATE W/ ANY REMOVED ELECTRICAL DEVICES  |
| 25 | NEW 1 1/2" DEEP WHITE PLASTIC LAMINATE SHELVES ON WHITE KNAPE AND YOGHT BRACKETS AND PILASTER STANDARDS  |
| 26 | NEW INSET 1"THK. TEMPERED MIRROR TO BE INSTALLED IN "PANEL" AREA OF EXISTING DOOR W/ CONCEALED MOUNTING METHOD.  |
| 27 | NEW RETRO-FIT WHITE PAINTED UPPER CABINET FACE AND DOORS ON EUROPEAN HINGES TO CONCEAL SECURITY/IT EQUIPMENT.  |
| 28 | NEW 3'-0" WIDE SWING DOOR TO MATCH EXISTING PANELED SWING DOORS IN ALL RESPECTS. NEW DOOR HARDWARE AND FRAME TO MATCH EXISTING IN ALL RESPECTS. DOOR TO HAVE OPEN LOUVERS IN MASTER BATH |
| 29 | EXISTING WALL TILE TO REMAIN. REPAIR ANY CRACKED/ DAMAGED TILE BY REPLACING WITH NEW TILE TO MATCH OR PAINTING TO MATCH EXISTING VEINING.  |
| 30 | INSTALL SAFEMARK DN 5.4 FOLLOWER SAFE (BLACK) WITHIN CLOSET DRAWER WHERE INDICATED. FOLLOW MFR INSTALL INSTRUCTIONS.   |

## drawing no

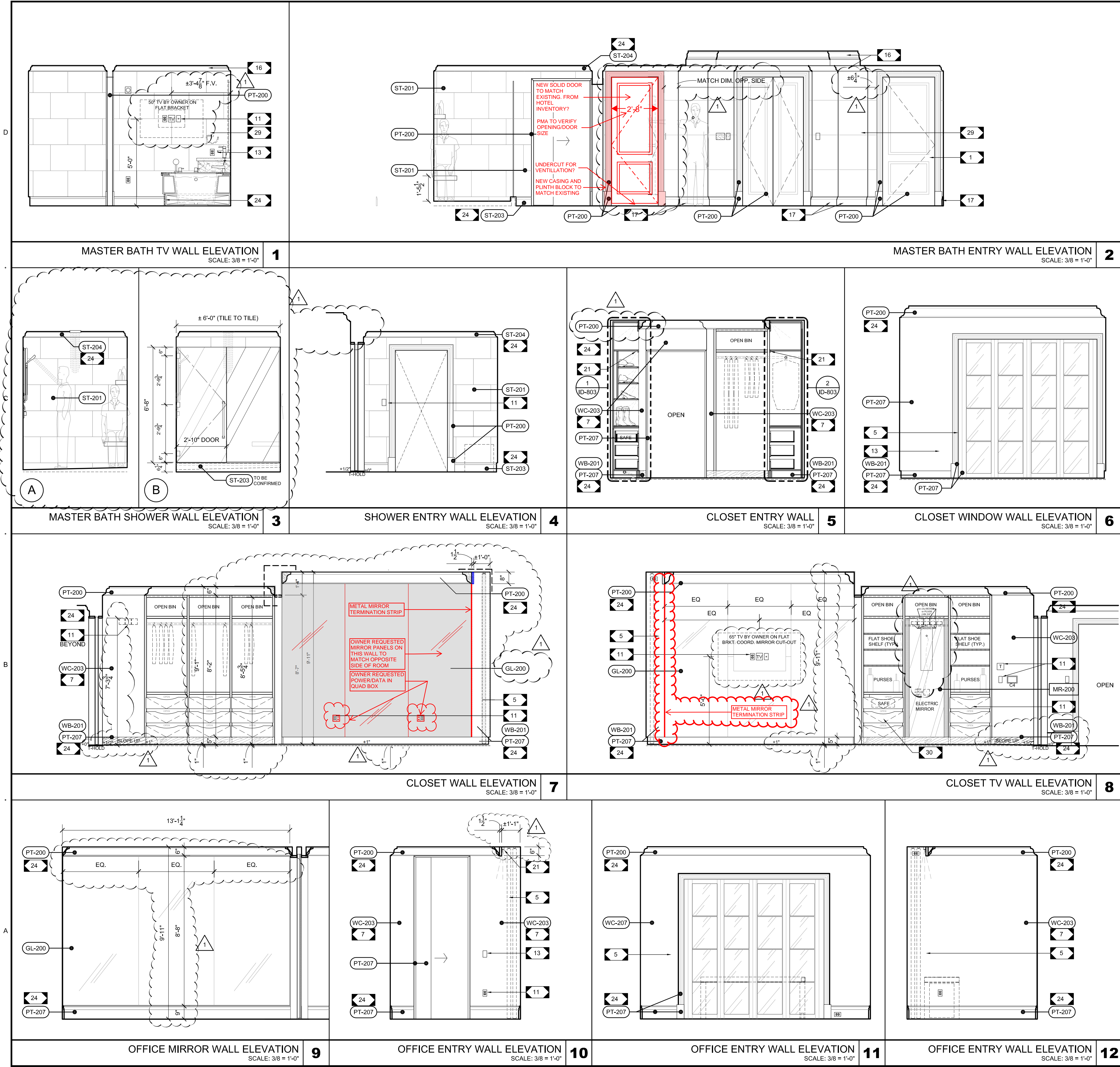
**ID-602**



REDUCE PROJECTION

## PROJECTION





ELEVATION SHEET NOTES

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- 04 EXISTING FIREPLACE, HEARTH, MANTLE, AND SURROUNDING WALL TILE TO REMAIN. REFURBISH TO LIKE NEW CONDITION. 3/4" PLYWOOD INFILL PAINTED TO MATCH STONE FOR TV BRACKET INSTALL.
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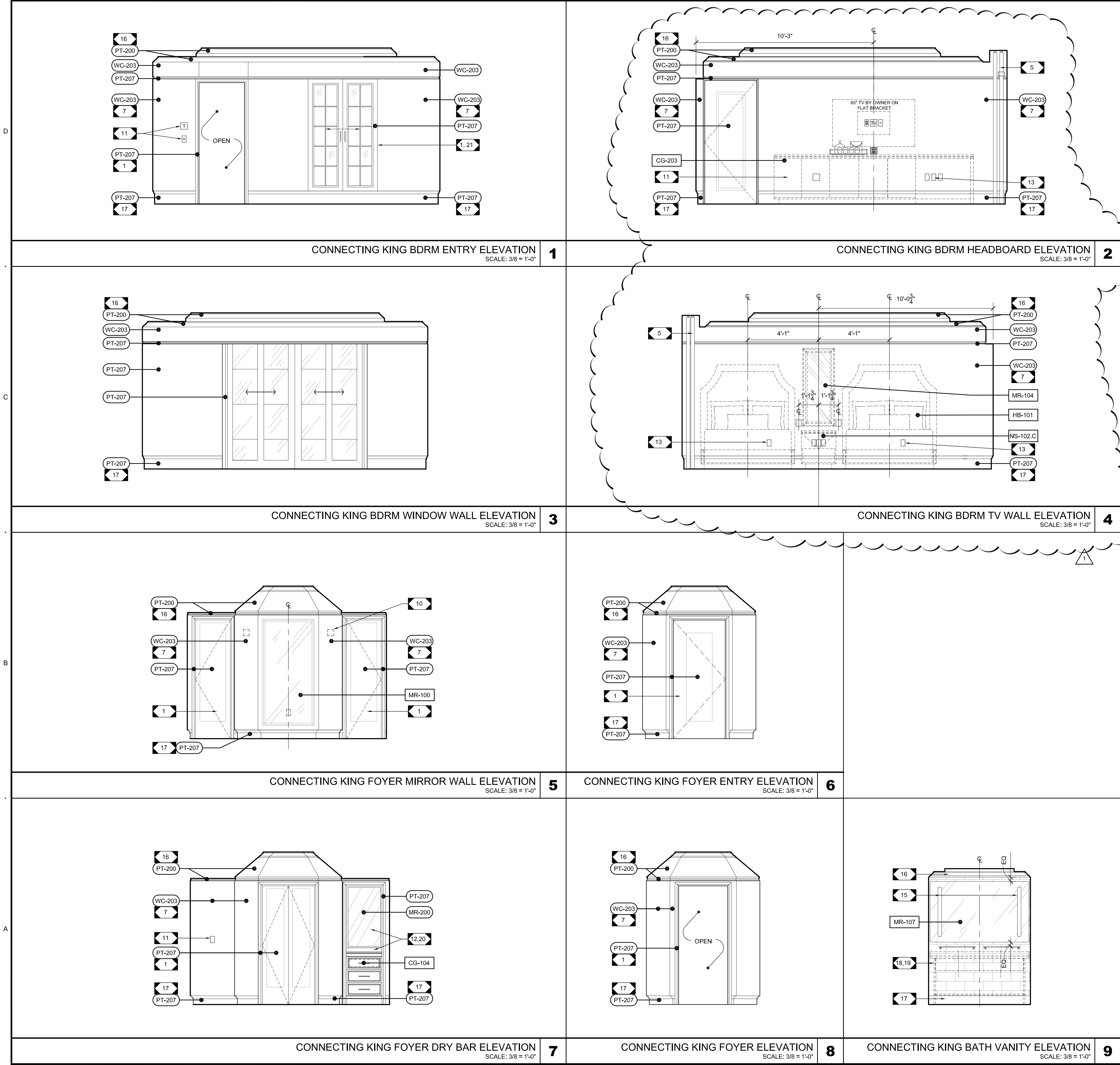
drawing title

INTERIOR ELEVATIONS

drawing no.

ID-603





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### ELEVATION KEYNOTES

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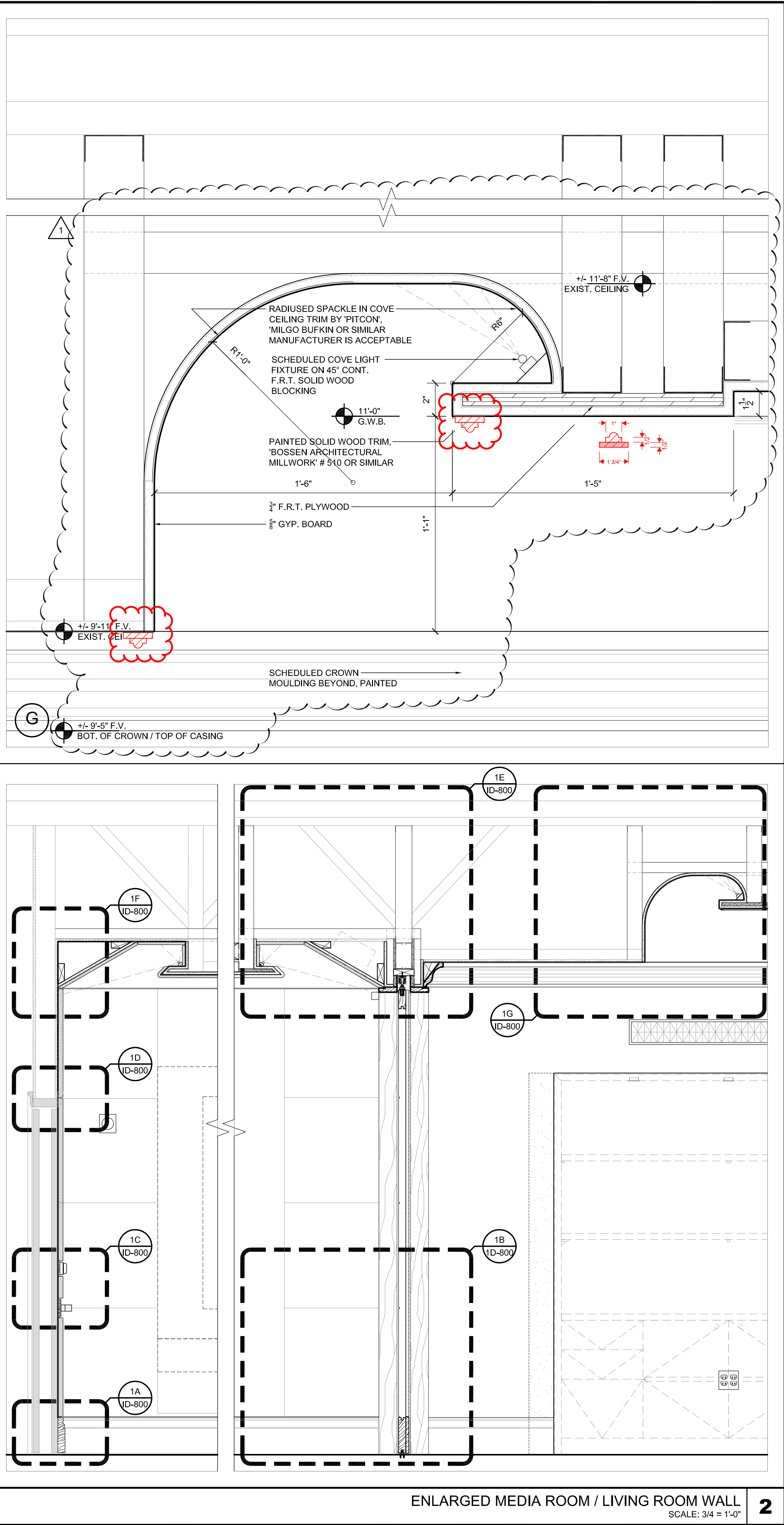
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INTERIOR ELEVATIONS

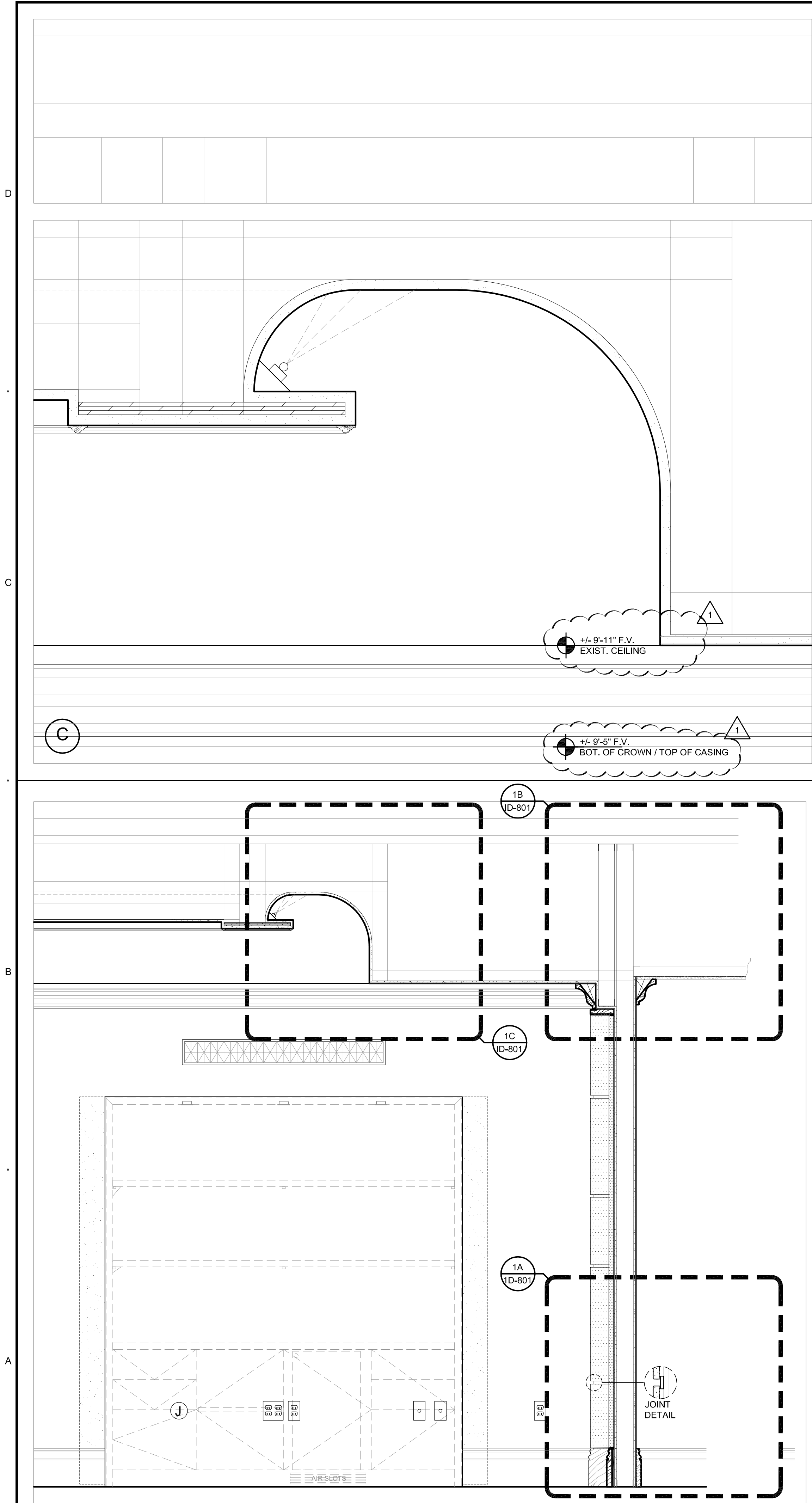
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**ID-604**



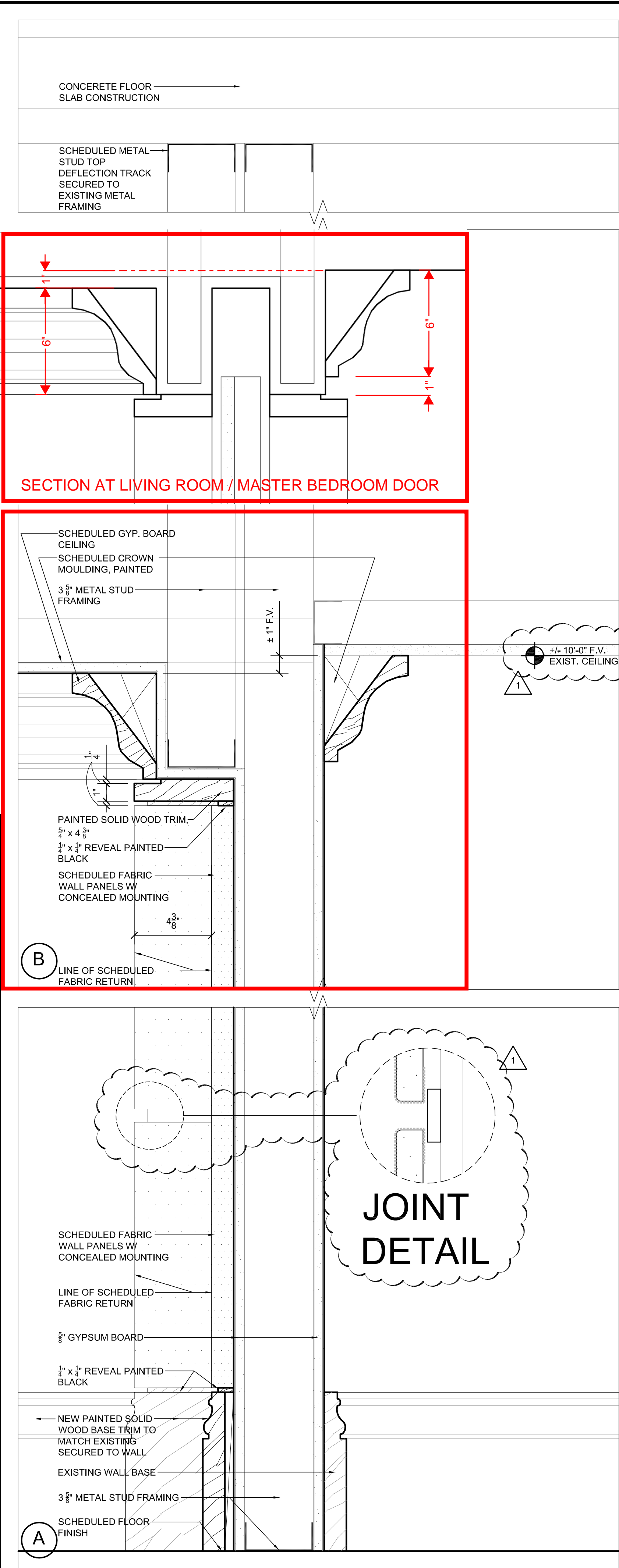






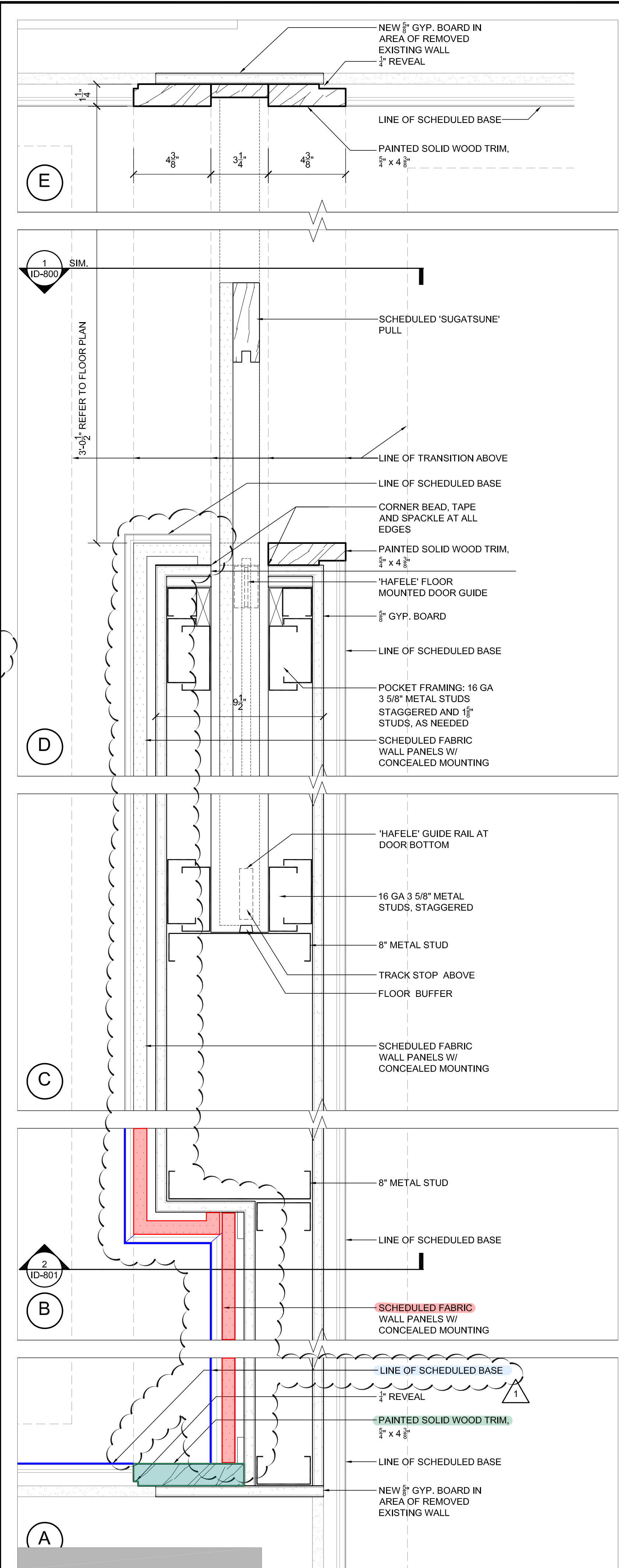
ENLARGED LIVING ROOM / BEDROOM WALL  
SCALE: 3/4" = 1'-0"

1



SECTION DETAILS  
SCALE: 3" = 1'-0"

2



ENLARGED PLAN DETAIL @ POCKET DOOR  
SCALE: 3" = 1'-0"

3

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key plan and project address

The St. Regis Atlanta  
Eighty-Eight West Paces Ferry Road  
Atlanta GA, 30305  
Empire Suite Renovation

document issue

date	no.	issue
2018-08-17	1	PERMIT SET/RELEASED FOR CONST.
2018-12-18	1	CLARIFICATION DRAWINGS

scale AS NOTED

date 2018-08-17

drawn by BC/JLM

checked JLM

project no. 1714.05

drawing title

DETAILS

-

-

-

drawing no.

**ID-801**





consultants

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scale	AS NOTED
date	2018-08-17
drawn by	BC/JLM
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project no.	1714.05

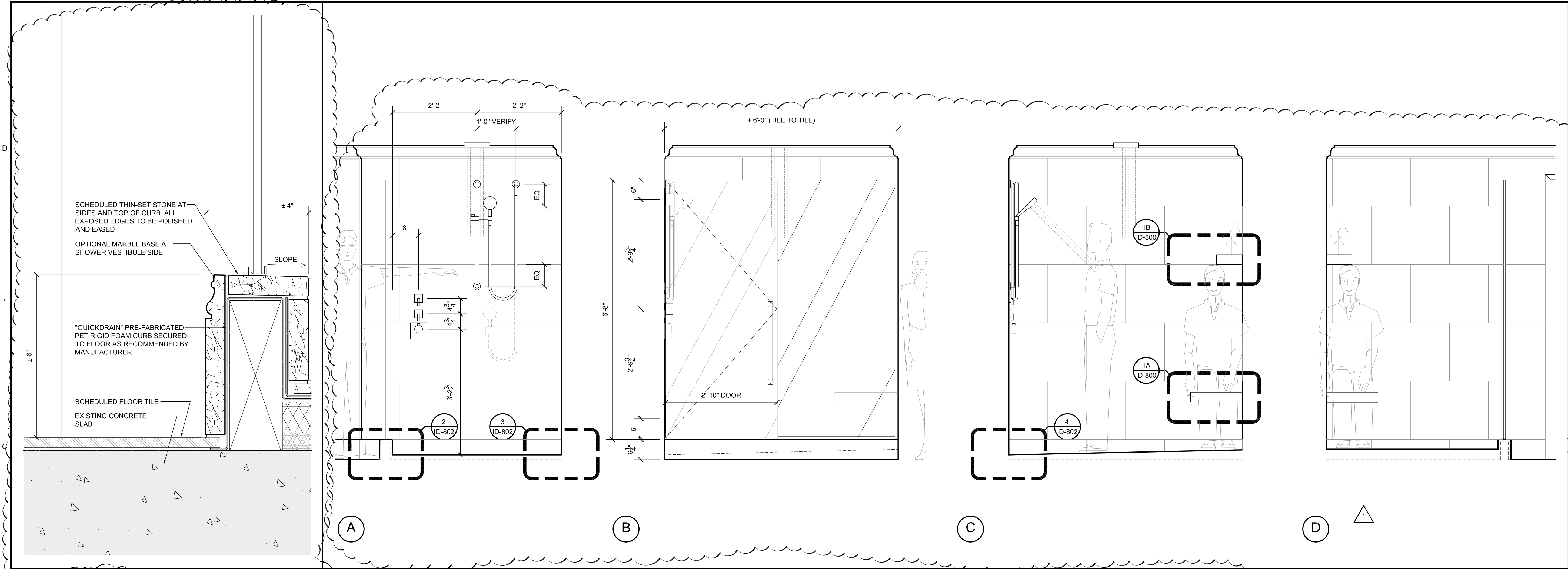
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DETAILS

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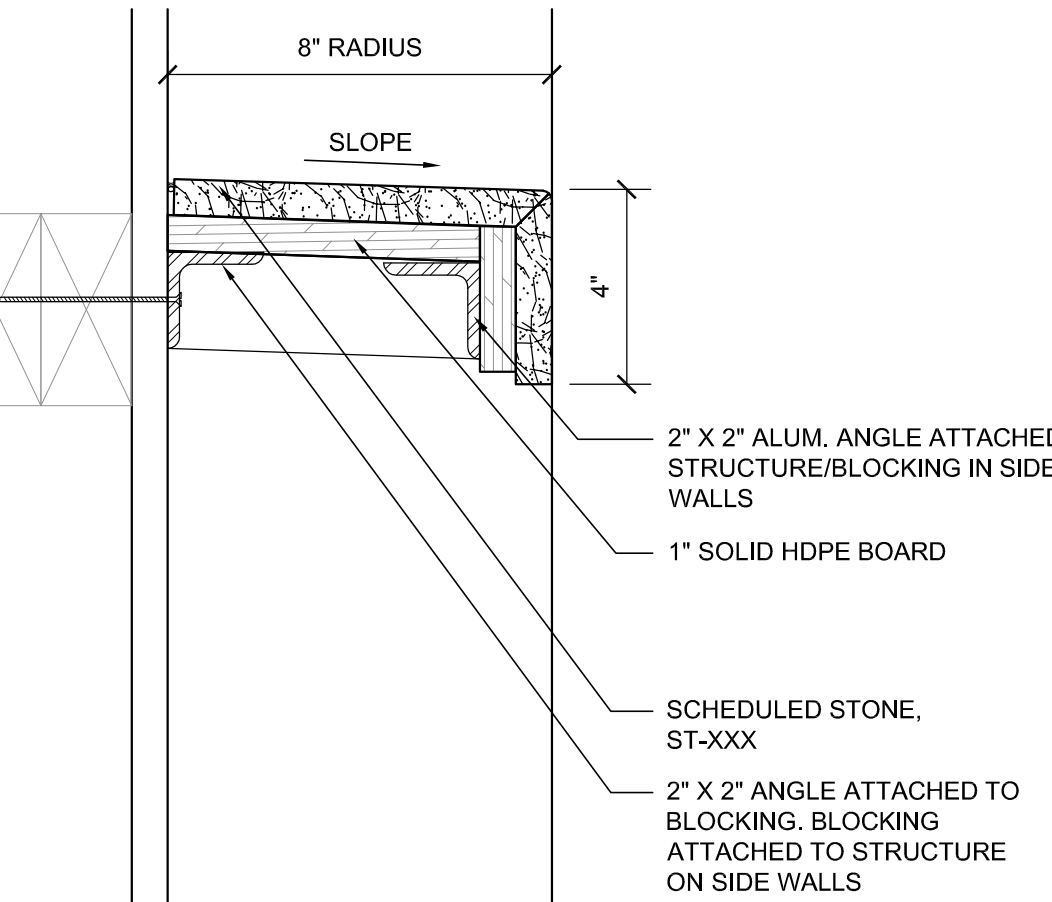
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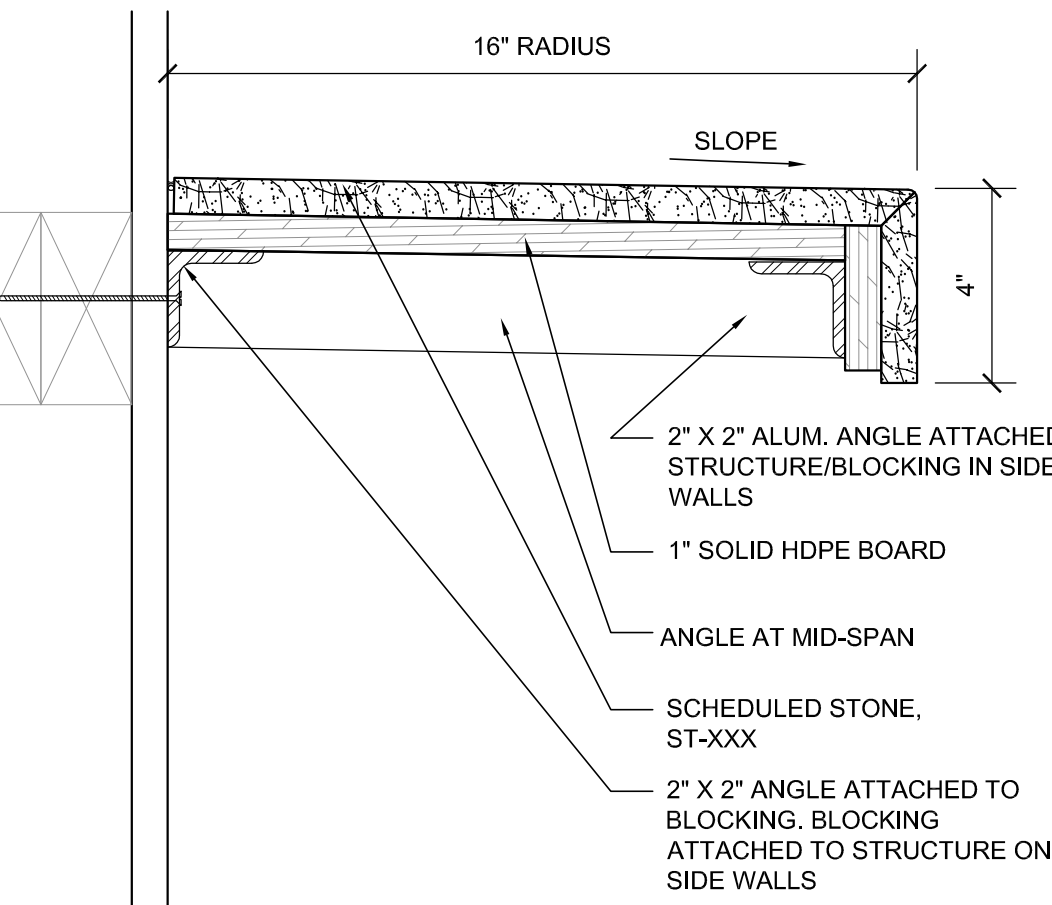


"OPTIONAL" SECTION AT SHOWER CURB  
SCALE: 6" = 1'-0" **2A**

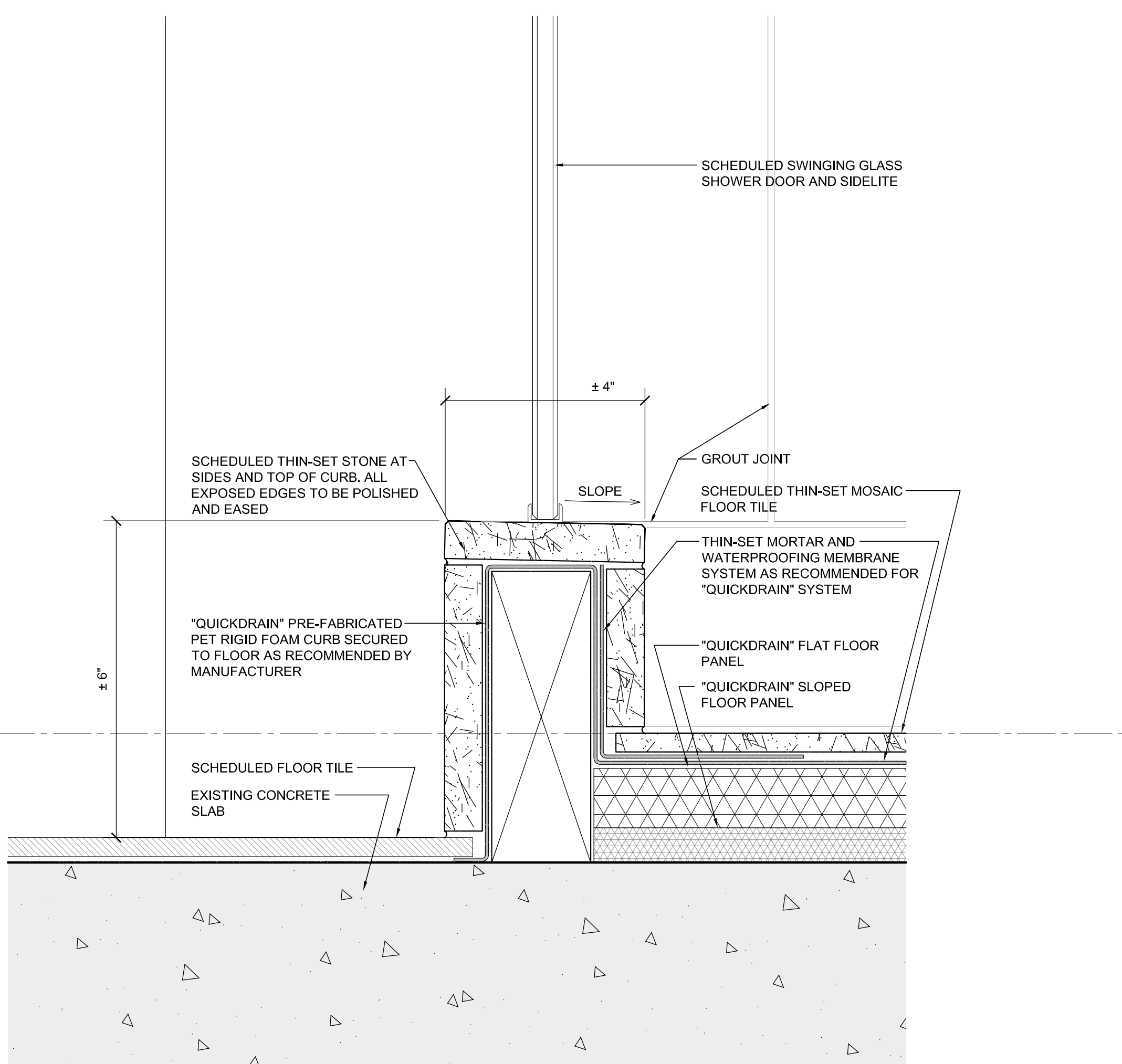
MASTER BATH SHOWER WALL ELEVATION  
SCALE: 3/8" = 1'-0" **5**



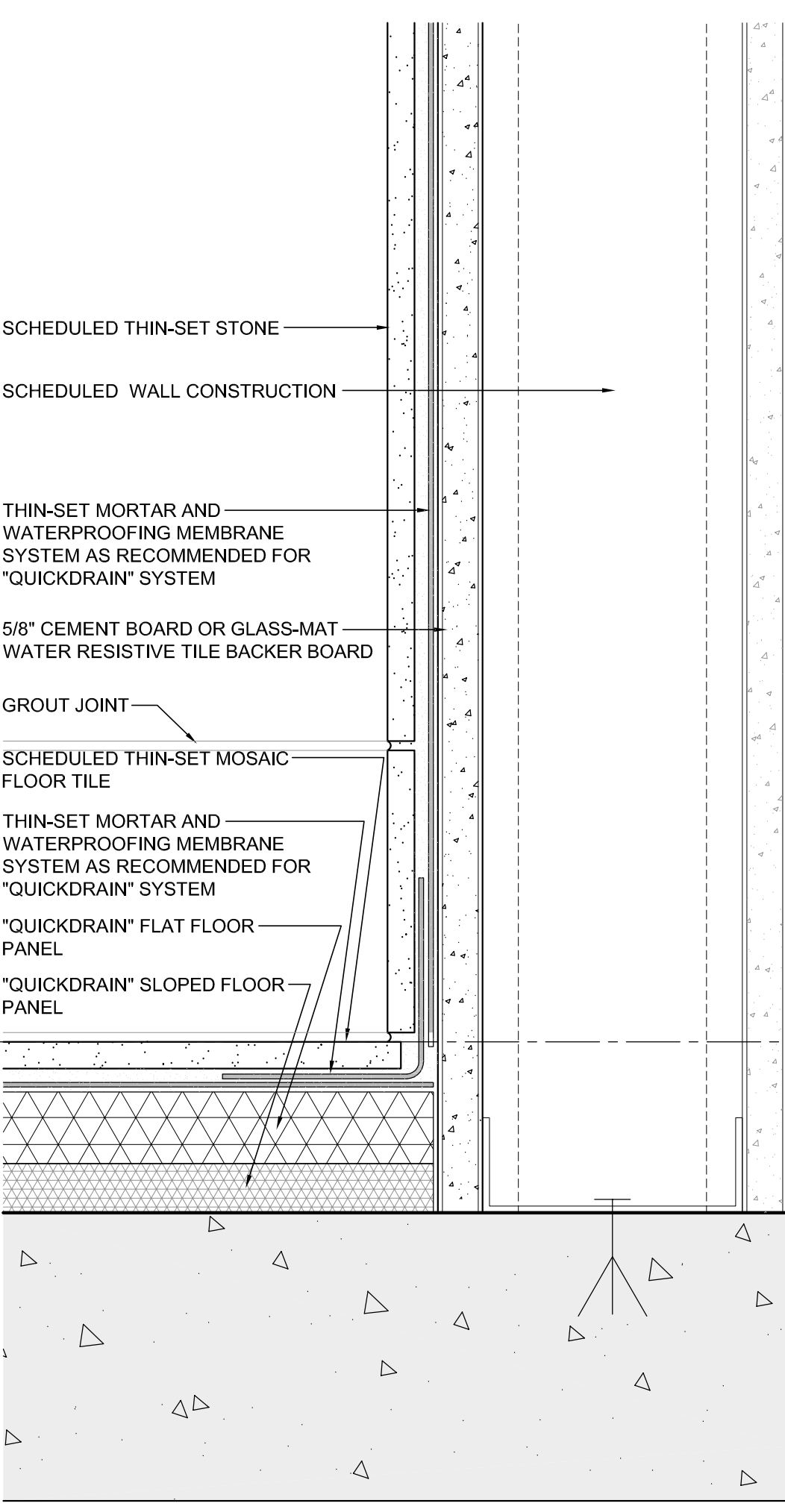
ENLARGED SECTION DETAIL @ BOTTLE SHELF  
SCALE: 3" = 1'-0" **1B**



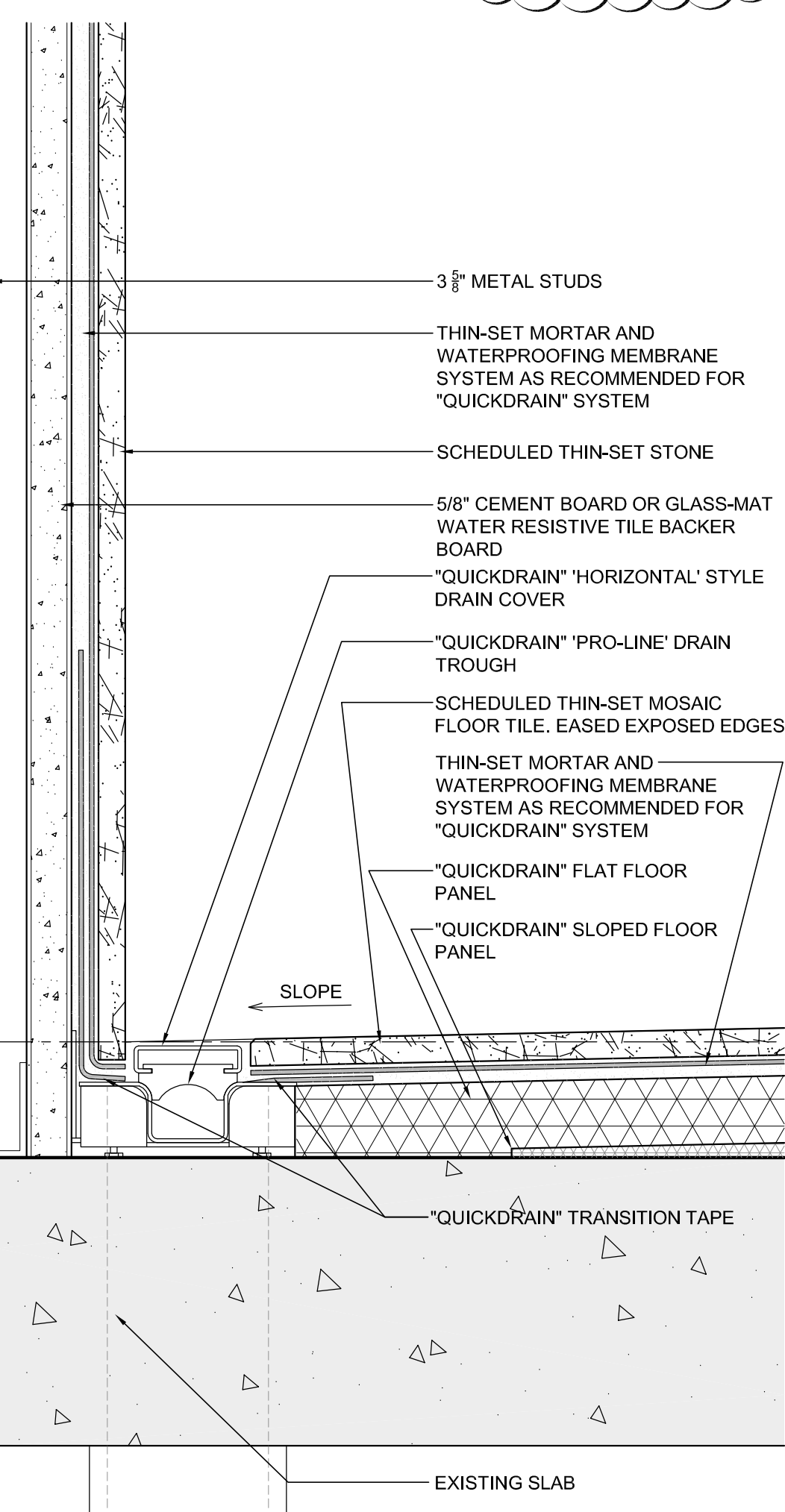
ENLARGED SECTION DETAIL @ SHOWER SEAT  
SCALE: 3" = 1'-0" **1A**



ENLARGED SECTION AT SHOWER CURB  
SCALE: 6" = 1'-0" **2**



ENLARGED SECTION @ SHOWER  
SCALE: 6" = 1'-0" **3**



ENLARGED SECTION @ LINEAR DRAIN  
SCALE: 6" = 1'-0" **4**





**ID-803**



FINISH MATERIALS SCHEDULE

SYMBOL	MATERIAL / DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	PATTERN / COLOR / FINISH	SIZE / INSTALLATION	REMARKS / LOCATION	CONTACT	FIRE RATING
CARPET								
CPT-200	HAND TUFTED AREA RUG CARPET	TBD	PROJECT #: JOB #: DESIGN #:	CONSTRUCTION: POMS: GAUGE: WEIGHT: BACKING:	WIDTH: INSTALLATION: AREA RUG OVER NON-SKID PAD	LOCATION: LIVING ROOM  SEE FF+E SPEC FOR MORE INFORMATION	PHONE: EMAIL:	
CPT-201	AXMINSTER	ROYAL THAI	NXG030355-Sam SP166264 SP166264-03-SR07	CONSTRUCTION: WOVEN AXMINSTER POMS: H310/31AL311/2D,A310,N314, N313,L310 WEIGHT: 60.6OZ/YD² BACKING: POLYESTER/PROPYLENE BACKING	WIDTH: 12'-0" INSTALLATION: DOUBLE GLUE OVER PAD	LOCATION: BED ROOM, OFFICE, WALK-IN CLOSET  REFER TO SEAMING DIAGRAM AND FLOODED PLAN FOR INSTALLATION  SEE FF+E SPEC FOR MORE INFORMATION	KAITLYN WEIR PHONE: 551.574.5033 EMAIL: KAITLYNWEIR@ROYALTHAI.COM	ASTM E648 CLASS I
CPT-202	SOLUTION DYED NYLON BROADLOOM CARPET	MOHAWK GROUP	STYLE NAME: SPECTRUM V30 STYLE #: BC246	COLOR: 7385 MAJESTIC FLEUR GAUGE: 1/10 WEIGHT: 30 OZ/YD² BACKING: WELDLOK	WIDTH: 12' INSTALLATION: DOUBLE GLUE OVER PAD	LOCATION: MEDIA ROOM	DONNA BAILEY PHONE: 215.983.0453 EMAIL: DONNA_BAILEY@MOHAWKIND.COM	ASTM E 648 CLASS I
CARPET PAD								
CPP-200	CARPET PAD	TRED-MOR	Tred-MOR® 2580	THICKNESS: 0.250" COLOR: BLACK WEIGHT: 80 OZ DENSITY: 26 LBS/CU FT	CONTENT: SYNTHETIC RUBBER ROLL SIZE: 54"X60'L	LOCATION: BED ROOM, OFFICE, WALK-IN CLOSET  SEE FF+E SPEC FOR MORE INFORMATION		
FABRIC WRAPPED PANEL								
FWP-200	PANEL FABRIC FOR ARCHITEX WRAPPED PANELS		THESPIAN	COLOR: CABERNET CONTENT: 100% POLYESTER	WIDTH: 54"	MEDIA ROOM	JASON LEVY PHONE: 847.205.1333 EMAIL: JASONLEVY@ARCHITEX-LJ.COM	PASSES NFPA 701, CAL TB 117, UFAC CLASS 1, NFPA 260, MVSS 302
FWP-201	PANEL FABRIC FOR KNOLL WRAPPED PANELS		ULTRASUEDE	COLOR: BLUSH	WIDTH: TBD	LIVING ROOM		
GLASS								
GL-200	TEMPERED LOW IRON CLEAR MIRROR GLASS				THICKNESS: ¼"	LOCATION: SEE DRAWING		
GL-201	TEMPERED BRONZE TINTED FROSTED MIRROR GLASS				THICKNESS: ½"	LOCATION: SHELF @ FOYER	BRIANNA NASTASI PHONE: 856.579.3235 EMAIL: BRIANNA@MCGRORY.COM	
GROUT								
GR-200	EPOXY TILE GROUT	TBD	PREMIUM UNSANDED GROUT	COLOR: TBD	REFER TO SCHEDULE TILE FOR JOINT SIZE	LOCATION: MASTER BATHROOM		
METAL								
M-200	ACCENT METAL FINISH		MATCH CHEMETAL 800 TRADITIONAL CLASSICS, 814 SATIN GOLDEN BRONZE	FINISH: BRUSHED		LOCATION: REFER TO DRAWING FOR LOCATION		
PAINT								
PT-200	GENERAL PAINT	SHERWIN WILLIAMS		COLOR: EXTRA WHITE, SW7006 FINISH: CEILING(FLAT), WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS), BATHROOM CEILING(SEMI-GLOSS)	1 COAT PRIMER, 2 COATS PAINT	LOCATION: REFER TO DRAWING FOR LOCATION	SHELLY BEEKLEY PHONE: 215.806.3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM	
PT-201	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: PANDA WHITE, SW6147 FINISH: CEILING(FLAT), WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS), BATHROOM CEILING(SEMI-GLOSS)	1 COAT PRIMER, 2 COATS PAINT	LOCATION: REFER TO DRAWING FOR LOCATION	SHELLY BEEKLEY PHONE: 215.806.3579 EMAIL: SHELLY.BEEKLEY@SHERWIN.COM	
PT-202	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: DOWNY, SW7002 FINISH: WALLS EGG SHELL, DOORS AND FRAMES (SEMI-GLOSS)(TO MATCH WALLCOVERING WC-201)		LOCATED AT KITCHEN WALL BASE AND DOOR TRIM AND CLOSET/ FITNESS ROOM		
PT-203	ACCENT PAINT	SHERWIN WILLIAMS		NOT USED		LOCATED AT POWDER ROOM AND CONNECTING VESTIBULES		
PT-204	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: STEAMED MILK, SW7554 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-200		LOCATED AT ENTRY		
PT-205	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: SUNDRIED TOMATO SW7585 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH FWP-200		LOCATED AT MEDIA ROOM		
PT-206	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: DOWNY, SW7002 FINISH: WALLS EGG SHELL, DOORS AND FRAMES (SEMI-GLOSS)(TO MATCH WALLCOVERING WC-202		LOCATED AT LIVING ROOM		

FINISH MATERIALS SCHEDULE

SYMBOL	MATERIAL / DESCRIPTION	MANUFACTURER	PRODUCT / STYLE	PATTERN / COLOR / FINISH	SIZE / INSTALLATION	REMARKS / LOCATION	CONTACT	FIRE RATING
PT-207	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: STEAMED MILK, SW7554 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING WC-203		LOCATED AT BEDROOM AND OFFICE		
PT-208	ACCENT PAINT	SHERWIN WILLIAMS		COLOR: FRESCO CREAM, SW7719 FINISH: WALLS (EGGSHELL), DOORS AND FRAMES (SEMI-GLOSS) TO MATCH WALLCOVERING FWP-201		LOCATED AT LIVING ROOM		
RESILIENT FLOORING								
RF-200	RECYCLED RUBBER BACK VINYL FLOORING	ECORE	PRODUCT NAME: FOREST RX	COLOR: 9822 TOASTED OAK	THICKNESS: 7mm ROLL SIZE: 6' WIDE X 30'L	LOCATION: FITNESS	MEGAN LYNAM PHONE: 610.717.7220 EMAIL: MLYNAM@SPARTANSURFACES.COM	ASTM E-648, CLASS I
STONE								
ST-200	QUARTZ	CAMBRIA	PRODUCT: QUARTZ	COLOR: WHITE CLIFF	THICKNESS: 2CM	LOCATION: MASTER BATHROOM VANITY TOP, TUB DECK, VANITY BASE, TUB BASE		
ST-201	STONE TILE	A TOUCH OF STONE	CALACATTA 24 x 24 MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. SELECTION CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: CUT TO MATCH EXISTING WALL TILE IN MASTER BATHROOM  GROUT: GR-200, GROUT JOINT SIZE TO MATCH EXISTING	LOCATION: MASTER BATHROOM SHOWER WALL  SUBMIT (3) SAMPLES AND SLAB PHOTOS FOR ID REVIEW PRIOR TO FABRICATION.	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSOUTH.NET	
ST-202	STONE MOSAIC FLOOR TILE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. SELECTION CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: 2" X 2" SQUARE GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER FLOOR	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSOUTH.NET	
ST-203	STONE BASE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. PROFILE, SIZE AND FINISH CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: TO MATCH EXISTING BASE IN MASTER BATHROOM GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSOUTH.NET	
ST-204	STONE CORNICE	A TOUCH OF STONE	CALACATTA MARBLE	STONE TO MATCH EXISTING MASTER BATH TILE WALLS. PROFILE, SIZE AND FINISH CONFIRMED AND APPROVED BY OWNER ON SITE.	SIZE: TO MATCH EXISTING CORNICE IN MASTER BATHROOM GROUT: GR-200	LOCATION: MASTER BATHROOM SHOWER	MARYLENE BRIERE PHONE: 770.560.1774 EMAIL: ATOS@BELLSOUTH.NET	
WALLCOVERINGS								
WC-200	TYPE II VINYL ACCENT WALLCOVERING	MDC	BARONI PRODUCT #: PD06227	COLOR: PEARL PATTERN: NON-REVERSIBLE STRAIGHT ACROSS MATCH BACKING: NON-WOVEN	WIDTH: 27" WEIGHT: 16 OZ/LYD	LOCATION: VESTIBULE	SHARON ROTHSCHILD PHONE: 609.876.3192 EMAIL: SROTHSCHILD@MDCWALL.COM	ASTM E-84 CLASS A
WC-201	TYPE II VINYL GENERAL WALLCOVERING	MDC	MIX THIS PRODUCT #: MDD2900	COLOR: FREE ZONE PATTERN: RANDOM REVERSIBLE, TYPE II BACKING: NON-WOVEN	WIDTH: 54" WEIGHT: 20 OZ/LYD	LOCATION: KITCHEN  SEE FF&E SPEC FOR MORE INFORMATION	SHARON ROTHSCHILD PHONE: 609.876.3192 EMAIL: SROTHSCHILD@MDCWALL.COM	ASTM E-84 CLASS A
WC-202	TYPE II VINYL GENERAL WALLCOVERING	INNOVATIONS	RANGOON SILK PRODUCT #: RS8499	COLOR: SEA SALT PATTERN: NON-MATCH BACKING: NON-WOVEN	WIDTH: 51" WEIGHT: 18 OZ/LYD	LOCATION: LIVING ROOM  SEE FF&E SPEC FOR MORE INFORMATION	GREGORY AUGUSTINE PHONE: 215.568.6980 EMAIL: GREGORY@LUCASALEXANDERCO.COM	ASTM E-84 CLASS A
WC-203	TYPE II VINYL GENERAL WALLCOVERING	WOLF GORDON	SETA PRODUCT #: GOH12578856	COLOR: PEARL PATTERN: REVERSE HANG, RANDOM MATCH	WIDTH: 52" WEIGHT: 20 OZ/LYD	LOCATION: BEDROOM, OFFICE, CLOSET/ FITNESS  SEE FF&E SPEC FOR MORE INFORMATION	CAROL MORTIMER PHONE: 302.598.8380 EMAIL: CAROL.MORTIMER@WOLFGORDON.COM	ASTM E-84 CLASS A
WC-204	TYPE II VINYL GENERAL WALLCOVERING	WOLF GORDON	VIVA PRODUCT #: GOH12565420	COLOR: FORT HOOD PATTERN: REVERSE HANG, RANDOM MATCH	WIDTH: 54" WEIGHT: 20 OZ/LYD	LOCATION: POWDER ROOM CONNECTING VESTIBULE  SEE FF&E SPEC FOR MORE INFORMATION	CAROL MORTIMER PHONE: 302.598.8380 EMAIL: CAROL.MORTIMER@WOLFGORDON.COM	ASTM E-84 CLASS A
WC-205	TYPE II VINYL GENERAL WALLCOVERING	DAC ART	CUSTOM FITNESS MURAL ON CANVAS TYPE II VINYL SUBSTRATE	COLOR: TO MATCH SW7002 DOWNY AND SELECTED PANTONE COLORS	WIDTH: 54" WEIGHT: 20 OZ/LYD	LOCATION: CLOSET/ FITNESS ROOM  SEE FF&E SPEC FOR MORE INFORMATION	DARBY BORUFF PHONE: 404.601.3257 EMAIL: DARBYB@DACARTCONSULTING.COM	ASTM E-84 CLASS A
WOOD BASE								
WB-200	PAINTED WOOD WALL BASE					LOCATION:		
WB-201	PAINTED WOOD WALL BASE	MILLWORKER	TBD	FLAT STOCK, PAINT GRADE WOOD BASE. SEE DRAWINGS FOR FINISH INFORMATION	5" HIGH, .75" THICK	LOCATION: FITNESS/ CLOSET	TBD	

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FINISH SCHEDULE

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